

AGENDA
JEFFERSON COUNTY PLANNING AND ZONING COMMITTEE
DECISION MEETING

George Jaeckel, Chair; Steve Nass, Vice-Chair; Blane Poulson, Secretary; Matt Foelker, Cassie Richardson

SUBJECT: Planning and Zoning Committee Decision Meeting
DATE: Monday, January 27, 2025
TIME: 8:30 a.m.
PLACE: Room C1021, County Courthouse, Jefferson WI

YOU MAY ATTEND VIRTUALLY BY FOLLOWING THESE INSTRUCTIONS:

Register in advance for this meeting:

https://zoom.us/meeting/register/tJEkf--hpj4pHd2y7-u8i9MUTAbnqMB_1Qxy

Meeting ID: 959 8698 5379

Passcode: Zoning

After registering, you will receive a confirmation email containing information about joining the meeting

1. Call to Order
2. Roll Call (Establish a Quorum)
3. Certification of Compliance with Open Meetings Law
4. Approval of the Agenda
5. Public Comment (Not to exceed 15 minutes and not to include petitions slated for decision. Members of the public who wish to address the Committee on specific agenda items must register their request at this time)
6. Approval of meeting minutes from December 19, December 30, January 10, January 16
7. Communications
8. December Monthly Financial Report for Register of Deeds
9. December Monthly Financial Report for Land Information Office
10. January Monthly Financial Report for Zoning
11. Discussion on Solar Energy Facilities
 - a. Crawfish River Solar
 - b. Badger State River
 - c. Sinnissippi Solar
 - d. Hackbarth Solar
 - e. Whitewater Solar Project
 - f. Town of Waterloo Solar Project
12. Discussion and Possible Action on the yearly review of CU2058-20 – Paul E Elliott/Dianne M Owens for agricultural tourism, retail sales of agricultural related items and a wine tasting room located a N7040 Saucer Dr in the Town of Farmington.
13. Discussion and Possible Action on Resubmittal of the Oakland Hills Subdivision Preliminary Plat
14. Discussion and Possible Action on an Amendment to the Zoning Ordinance Regarding Solar Energy Systems
15. Discussion and Possible Action on R4379A-22, PIN 006-0716-1642-000 near W1380 County Road B in the Town of Concord. The property is currently owned by Boat House of Concord Real Estate LLC.
16. Discussion and Possible Action on Enforcement Actions at Riverbend RV Resort at W6940 Rubidell Road in the Town of Milford
17. Discussion on Accessory Dwelling Units (ADU)
18. Discussion on Findings of Fact and County Board Ordinance
19. Discussion and Possible Action on Petitions Presented in Public Hearing on January 16, 2025:

R4581A-25 & CU2142-24 –Alex M. & Courtney Zastrow: Rezone 2.6-acres from A-1 to A-2 to allow for a boarding, daycare and retail business for dogs and other pets at **N8668 County Road O** in Town of Waterloo, PIN 030-0813-1723-001 (35.17 ac.).

R4582A-24 – Michael & Rebecca Yenser: Rezone to from A-1 to A-3 to create a 3-acre farm consolidation around the existing buildings at **W4510 Ebenezer Drive** in the Town of Watertown, PIN 032-0815-2922-000 (27.157 ac). The property is owned by Arlene J. Kropf Trust.

R4583A-24– Michael & Rebecca Yenser: Rezone from A-1 to A-3 to create a 2-acre residential building site at **W4510 Ebenezer Drive** in the Town of Watertown, PIN 032-0815-2922-000 (27.157 ac). The property is owned by Arlene J. Kropf Trust.

R4584A-24 & CU2143-24–Duane & Anita Bennett: Rezone 1-acre from A-3 to A-2 to allow for landscaping business to store equipment at **N9027 County Road Q** in Town of Milford, PIN 020-0814-0931-002 (1.0 ac.).

R4585A-24 – Godfrey Enterprises LLC: Rezone from R-2 to B to expand an existing business zone north of **W6630 County Road B** in the Town of Aztalan, PIN 002-0714-1713-007 (1.75 ac).

CU2144-24 – Godfrey Enterprises LLC: Conditional Use to update an existing conditional use for the expansion of the parking lot and septic for an existing eating and drinking business at **W6630 County Road B** in the Town of Aztalan, PIN 002-0714-1713-007 (1.75 ac).

CU2145-24 – Godfrey Enterprises LLC: Conditional Use to allow for a duplex on Lot 1 (35,555 sq. ft) on an R-2 zoned lot at **N6330 County Road Q** in the Town of Aztalan, PIN 002-0714-1713-006 (1.25 ac).

CU2146-24 – Godfrey Enterprises LLC: Conditional Use to allow for a duplex on Lot 2 (30,000 sq. ft) on an R-2 zoned lot at **N6330 County Road Q** in the Town of Aztalan, PIN 002-0714-1713-006 (1.25 ac).

20. Planning and Development Department Update

21. Possible Future Agenda Items

22. Discussion on Upcoming Meeting Dates:

February 14, 8:00 a.m. – Site Inspections leaving from Courthouse Room C1049

February 20, 7:00 p.m. – Public Hearing in Courthouse Room C2063

February 24, 8:30 a.m. – Decision Meeting in Courthouse Room C1021

March 14, 8:00 a.m. – Site Inspections leaving from Courthouse Room C1049

March 20, 7:00 p.m. – Public Hearing in Courthouse Room C2063

March 31, 8:30 a.m. – Decision Meeting in Courthouse Room C1021

23. Adjourn

If you have questions regarding the petitions, please contact the Zoning Department at 920-674-7131. Petition files referenced on this agenda may be viewed in Courthouse Room C1040 at 311 S Center Ave between the hours of 8:00 a.m. and 4:30 p.m., Monday through Friday, excluding holidays. Materials covering other agenda items can be found at www.jeffersoncountywi.gov.

A quorum of any Jefferson County Committee, Board, Commission, or other body, including the Jefferson County Board of Supervisors, may be present at this meeting.

Individuals requiring special accommodations for attendance at the meeting should contact the County Administrator at 920-674-7101 at least 24 hours prior to the meeting so that appropriate arrangements can be made.

A digital recording of the meeting will be available in the Zoning Department upon request.

NOTICE OF PUBLIC HEARING
JEFFERSON COUNTY PLANNING AND ZONING COMMITTEE

George Jaeckel, Chair; Steve Nass, Vice-Chair; Blane Poulson, Secretary; Matt Foelker; Cassie Richardson

SUBJECT: Map Amendments to the Jefferson County Zoning Ordinance and Requests for Conditional Use Permits
DATE: Thursday, December 19, 2024
TIME: 7:00 p.m. (Doors will open at 6:30)
PLACE: **JEFFERSON COUNTY COURTHOUSE, ROOM C2063**
311 S. CENTER AVE, JEFFERSON, WI 53549
OR Via Zoom Videoconference

PETITIONERS OR MEMBERS OF THE PUBLIC MAY ATTEND THE MEETING VIRTUALLY BY FOLLOWING THESE INSTRUCTIONS IF THEY CHOOSE NOT TO ATTEND IN PERSON:

You are invited to a Zoom meeting.
When: December 19, 2024, at 07:00 PM Central Time (US and Canada)
Meeting ID: 957 3344 0565
Passcode: Zoning
Register in advance for this meeting:
<https://zoom.us/j/95733440565?pwd=eHZRbHZXWXhlUnlKdkhtOXhoTmtNZz09>
After registering, you will receive a confirmation email containing information about joining the meeting.

1. **Call to Order**
The meeting was called to order by Chairman Jaeckel at 7:00 p.m.
2. **Roll Call**
All members of the committee were present at 7:00 p.m. Supervisor Richardson was present via zoom.. Also present were staff members Matt Zangl, Sarah Elsner and Haley Nielsen.
3. **Certification of Compliance with Open Meetings Law**
Supervisor Poulson verified that the meeting was being held in compliance with Open Meetings Law.
4. **Approval of Agenda**
Motion by Supervisor Poulson to approve the agenda, seconded by Supervisor Foelker. Motion passed 5-0.
5. **Public Hearing**
Zangl read aloud the following:

NOTICE IS HEREBY GIVEN that the Jefferson County Planning and Zoning Committee will conduct a public hearing at 7 p.m. on Thursday, December 19, 2024, in Room C2063 of the Jefferson County Courthouse, Jefferson, Wisconsin. Members of the public will be allowed to be heard regarding any petition under consideration by the Planning and Zoning Committee. **PETITIONERS, OR THEIR REPRESENTATIVES SHALL BE PRESENT EITHER IN PERSON OR VIA ZOOM.** Matters to be heard are petitions to amend the official zoning map and applications for conditional use permits. A map of the properties affected may be obtained from the Zoning Department. Individual files, which include staff finding of fact, are available for viewing between the hours of 8:00 a.m. and 4:30 p.m., Monday through Friday, except holidays. If you have questions regarding these matters, please contact Zoning at 920-674-7131.

Decisions on Conditional Use Permits will be made on **December 30, 2024**
Recommendations by the Committee on Rezones, will be made on **December 30, 2024**
Final decision will be made by the County Board on **January 14, 2025**

**FROM A-1 EXCLUSIVE AGRICULTURAL TO A-2, AGRICULTURAL AND RURAL BUSINESS
WITH CONDITIONAL USE**

All are in accordance with Sec. 11.04(f)7 of the Jefferson County Zoning Ordinance

R4572A-24 & CU2136-24 –Whitewater Islamic Center Inc: Rezone 5-acres from A-1 to A-2 to allow for a 5-acre private religious cemetery (public/semi-public use) with capacity for approximately 4000 gravesites along **Tri-County Road** in Town of Koshkonong, PIN 016-0514-3643-000 (23.74 ac.) and 016-0514-3643-002 (4.967 ac).

PETITIONER: Sonny Dzaferi (529 E Clancy Street, Jefferson) presented for Whitewater Islamic Center Inc. The land was purchased by the community. There are locations in similar cities, but those spaces are filling up. There are approximately 16,000 Muslim in the area, and there is a need for these services in the area.

COMMENTS IN FAVOR: None.

COMMENTS OPPOSED: None.

REBUTTAL: None.

STAFF: Given by Zangl and in the file. Zangl asked about proposed building/operation. Mr. Dzaferi currently is speaking with consultant for plans, and talked with excavators for services. Proposing a 10' x 20' shed for equipment. Will provide a designated parking plan and stay away from wetlands.

TOWN: In favor.

FROM A-1 EXCLUSIVE AGRICULTURAL TO A-3, AGRICULTURAL/RURAL RESIDENTIAL

All are in accordance with Sec. 11.04(f)8 of the Jefferson County Zoning Ordinance

R4573A-24 – Joshua Edwards: Rezone to create two 2.0-acre lots at **N5118 Bakertown Road** in the Town of Concord, PIN 006-0716-3313-001 (14 ac). The property is owned by Patrick A. & Susan B. Pelikan.

PETITIONER: Josh Edwards (S34W34 County Road C, Dousman) presented himself as the petitioner for this rezone. Is looking to purchase one proposed lot to build a residence.

COMMENTS IN FAVOR: Patrick Pelikan (W6093 Sullivan, Wi), in favor of the proposal.

COMMENTS OPPOSED: None.

REBUTTAL: None.

STAFF: Given by Zangl and in the file. Zangl asked about location of lots. Petitioner explained the lots could be moved further to the North, to fit ordinance requirements. Originally thought the lot would be better further North, but then felt as though it was better to avoid the woods as it was mapped as prime farmland.

TOWN: In favor with comments.

R4574A-24 –Evan & Kate Karow: Rezone to create a 2.0-acre lot west of **W6116 Star School Road** in the Town of Koshkonong, PIN 016-0514-2111-000 (37.671 ac). The property is owned by Dale Karow.

PETITIONER: Evan Karow (328 Spring Valley Court, Palmyra) presented himself as the petitioner for this rezone. Looking to build a residence on the proposed lot.

COMMENTS IN FAVOR: None.

COMMENTS OPPOSED: None.

REBUTTAL: None.

STAFF: Given by Zangl and in the file.

TOWN: In favor.

R4575A-24 – Febock Brothers: Rezone to create a 1-acre residential lot north of **N5190 State Road 134** in the Town of Lake Mills from PIN 018-0713-3121-000 (60.68 ac).

PETITIONER: Febock (3557 State Highway 134) presented for this rezone. Neighbors son wants to build a house.

COMMENTS IN FAVOR: Andy (342 Oakbrook Drive) Parents own 60-acres to South, dream is to build out there to be by family land.

COMMENTS OPPOSED: None.

REBUTTAL: None.

STAFF: Given by Zangl and in the file.

TOWN: In favor with Town Park fees.

**FROM A-3, AGRICULTURAL/RURAL RESIDENTIAL TO A-1 EXCLUSIVE AGRICULTURAL WITH
CONDITIONAL USE**

All are in accordance with Sec. 11.04(f)6 of the Jefferson County Zoning Ordinance

R4576A-24 – Michels Road & Stone LLC: Rezone A-3 to A-1 for non-metallic mining at **N9614 Doepke Road** in the Town of Waterloo, PIN 030-0813-0321-001 (2.1 ac). Property is owned by P&Q Waterloo LLC.

PETITIONER: Dave Melum (5132 State Highway 33, West Bend) with Michels presented for this rezone. The company purchased nearby homes and is buying up land for the long-term plan of extending the quarry. The quarry currently operates in Dodge County. There is a need to rezone to A-1 for the non-metallic mining use, deals have been made with owners of purchased homes.

COMMENTS IN FAVOR: Jeremy Ellis (N9637 Doepke Road, Waterloo), representing the Town board. Would like to see houses stay there long term until Michels is ready to utilize the area.

COMMENTS OPPOSED: See Conditional Use Permit Request for concern related to traffic/debris.

REBUTTAL: None.

STAFF: Given by Zangl and in the file. Zangl asked clarifying questions surrounding timeless of operation and plans for the

TOWN:

R4577A-24 – Michels Road & Stone LLC: Rezone A-3 to A-1 for non-metallic mining at **W8301 Doepke Road** in the Town of Waterloo, PIN 030-0813-0331-002 (4 ac). Property is owned by P&Q Waterloo LLC.

See above.

TOWN: In favor.

R4578A-24 – Michels Road & Stone LLC: Rezone A-3 to A-1 for non-metallic mining at **W8333 Doepke Road** in the Town of Waterloo, PIN 030-0813-0331-001 (7.19 ac). Property is owned by P&Q Waterloo LLC.

See above.

TOWN: In favor.

R4579A-24 – Michels Road & Stone LLC: Rezone A-3 to A-1 for non-metallic mining at **W8337 Doepke Road** in the Town of Waterloo, PIN 030-0813-0331-003 (4 ac). Property is owned by P&Q Waterloo LLC.

See above.

TOWN: In favor.

CU2137-24 – P&Q Waterloo LLC: Conditional Use to allow operation of a non-metallic mining site on 8 parcels along **Doepke Rd.** in the Town of Waterloo PINs 030-0813-0322-001 (3.789 ac), 030-0813-0321-001 (2.1 ac), 030-0813-0331-003 (4 ac), 030-0813-0331-002 (4 ac), 030-0813-0323-002 (19.507 ac), 030-0813-0321-000 (40.233), 030-0813-0331-001 (7.19 ac), 030-0813-0324-000 (40 ac).

PETITIONER: Dave Melum (5132 State Highway 33, West Bend) with Michels presented. West side of Doepke road for stockpiling, East side for mining. This is an extremely long-term plan. Exploratory drilling to locate materials, not certain where that will start location wise at this time.

COMMENTS IN FAVOR: None.

COMMENTS OPPOSED: Tony Sillman (W8210 Doepke Road) – Concerns with traffic/trucks breaking on road and dust/dirt.

REBUTTAL: Dave Melum addressed the concerns. The quarry has been permitted for many years. Certainly, can look at brims across road from complainants property to eliminate dust on road. Can speak with drivers regarding speed and breaks. Will try to address the issues.

STAFF: Given by Zangl and in the file. Zangl asked clarifying questions surrounding timelessness of operation and plans for the

TOWN: In favor.

FROM A-3, AGRICULTURAL/RURAL RESIDENTIAL TO A-2 AGRICULTURAL AND RURAL BUSINESS WITH CONDITIONAL USE

All are in accordance with Sec. 11.04(f)7 of the Jefferson County Zoning Ordinance

R4580A-24 & CU2138-24–Matthew P. Hasel: Rezone 1.09-acres from A-3 to A-2 to allow for landscaping and tree service business to store equipment and personal materials at **W7778 Conservation Road** in Town of Lake Mills, PIN 018-0713-2644-003 (2.3 ac.).

PETITIONER: Matthew Hasel (N5103 County Road G) presented as himself for this rezone and Conditional Use Permit. Is attempting to come into compliance with the Ordinance. Looking to store equipment, materials from jobs. Has cold storage shed and shop currently. Proposed hours of 7am-2/3pm, unless of emergencies/Township work.

COMMENTS IN FAVOR: None.

COMMENTS OPPOSED:

- **Jeff Nachreiner.** Has concerns about floodplain on the property and structures that would be built in the floodplain. He has concerns about this being allowed on a dead-end road in a residential area.
- **Karrie (W7736 Conservation Road),** this is a daily use activity, travels up and down the road all day, this creates noise, wear and tear on the road, headlights are on all night, and the property has been in non-compliance for the last two years.

REBUTTAL: Mr. Hasel explained that he doesn't plow for hire, he plows for neighbors and renters that live there. He hasn't been working out of this location for two months. The property is not in the floodplain.

STAFF: Given by Zangl and in the file. Zangl asked about the operation and about outside storage. Petitioner currently has dump truck, chipper, trailer, and woodchip pile stored outside. No lighting or signs, one employee.

TOWN: In favor.

CONDITIONAL USE PERMIT APPLICATIONS

All is in accordance with Sec. 11.04(f)1 & 2 of the Jefferson County Zoning Ordinance

CU2139-24 – Robb Brinkmann: Conditional Use to allow for retail sales of landscape supplies in an Industrial zone at **N6131 County Road Y** in the Town of Farmington, PIN 008-0715-1833-000 (22.385 ac). The property is owned by Thomas E. & Kathy L. Gallitz Trust.

PETITIONER: Robb Brinkman (W2483 Bakertown Drive), storage of landscaping materials. Hours of 6am-6pm Monday through Friday, 7am-2pm Saturdays. Months operation of April to November, and that is open to the public, contractors, and homeowners. Will have 2-4 employees and one truck driver. Will be lighting on signage. Two buildings are proposed, one for staff.

COMMENTS IN FAVOR: None.

COMMENTS OPPOSED: None.

REBUTTAL: None.

STAFF: Given by Zangl and in the file.

TOWN: In favor.

CU2140-24 – Chad Coomer: Conditional Use to allow an extensive storage structure 1500 sq. ft., 24 ft. high, in C-zone for personal use at W230 Madison Ave. in the Town of Ixonia, PIN 012-0816-2513-015 (.72 ac).

PETITIONER: Chad Coomer, 24 feet in height maximum. Will house four wheelers, cars, equipment. Has had lot surveyed, has a lot of tree coverage, the building will not be taller than house.

COMMENTS IN FAVOR: None.

COMMENTS OPPOSED: None.

REBUTTAL: None.

STAFF: Given by Zangl and in the file.

TOWN: In favor.

CU2141-24 – Station Ixonia: Conditional Use to allow for eating and drinking place to be added in a B- zone to the gas station at **W1168 American St.** in the Town of Ixonia, PIN 012-0816-2224-000 (1.037 ac).

PETITIONER: Curt Semeras (20 Malibu Court, Fond Du Lac), the beer pub will have the same hours as the gas station, ADA required bathrooms.

COMMENTS IN FAVOR: None.

COMMENTS OPPOSED: None.

REBUTTAL: None.

STAFF: Given by Zangl and in the file. Zangl asked about hours and clarification of the operation. Petitioner responded explaining that the establishment will have a separate entry from the gas station, with hours of 4:30am-9pm. State building approval has been obtained. Maximum occupancy of 8 individuals.

TOWN: In favor.

6. **Adjourn**

Supervisor Poulson moved to adjourn 8:00 p.m. and was seconded by Supervisor Foelker. Motion passed 5-0 on a voice vote.

A quorum of any Jefferson County Committee, Board, Commission or other body, including the Jefferson County Board of Supervisors, may be present at this meeting.

Individuals requiring special accommodations for attendance at this meeting should contact the County Administrator 24 hours prior to the meeting at 920-674-7101 so appropriate arrangements can be made.

A digital recording of the meeting will be available in the Zoning Department upon request.

MINUTES
JEFFERSON COUNTY PLANNING AND ZONING COMMITTEE
DECISION MEETING

George Jaeckel, Chair; Steve Nass, Vice-Chair; Blane Poulson, Secretary; Matt Foelker, Cassie Richardson

SUBJECT: Planning and Zoning Committee Decision Meeting
DATE: Monday, December 30, 2024
TIME: 8:30 a.m.
PLACE: Room C1021, County Courthouse, Jefferson WI

1. Call to Order

The meeting was called to order by Chairman Jaeckel at 8:30 a.m.

2. Roll Call (Establish a Quorum)

All committee members were present in person except Richardson who was present via Zoom. Other County staff in attendance were Interim County Administrator Michael Luckey and Corporation Counsel Danielle Thompson. Zoning Department staff present were Matt Zangl, Sarah Elsner, Haley Nielsen and Shari Fischback. Members of the public present were Anita Martin, Sue Marx, Joseph Voelker, Trent Wilson, David Melum, Bob Bingen and Patrick Pelikan. Others present via Zoom were Land & Water Conservation Director Patricia Cicero, Sonny Xhaferi and Curtis Semenas.

3. Certification of Compliance with Open Meetings Law

Supervisor Poulson confirmed that the meeting was being held in compliance.

4. Approval of the Agenda

5. Motion by Supervisor Poulson, second by Supervisor Foelker to approve the agenda. Motion passes on a voice vote, 5-0.

6. Public Comment (Not to exceed 15 minutes and not to include petitions slated for decision.

Members of the public who wish to address the Committee on specific agenda items must register their request at this time)

Sue Marx spoke of concerns that the solar ordinance should address environmental concern for ground water, and erosion, that the Township be protected from having to cover the cost of damage to the roads, noise and lighting.

7. Approval of meeting minutes from November 25, December 13, December 19

Motion by Foelker/Poulson to approve November 25, 2024, minutes as written.

Motion passed on a voice vote 5-0.

Motion by Foelker/Nass to approve December 13, 2024, minutes as written.

Motion passed on a voice vote 5-0.

December 19, 2024, minutes were not ready. Will be put on the January agenda.

8. Communications – Zangl shared a letter from Farmers Union related to the solar ordinance.

9. November Monthly Financial Report for Register of Deeds

Zangl reported in Staci Hoffman's absence that the month was status quo.

10. November Monthly Financial Report for Land Information Office

Zangl reported that the month was steady, status quo. County Surveyor expenses were slightly over budget due to new employee, rebar costs and he set a lot of corners this year. Land Information Program state aid was cut in half this year. 2025 will have an air photo project and a GIS system review.

11. December Monthly Financial Report for Zoning

Zangl reported 2024 revenues were higher than budgeted and expenses below budgeted.

12. Discussion on Solar Energy Facilities

- a. Crawfish River Solar – project is in its final phase.
- b. Badger State River – Project has been quiet. Construction to start mid-summer 2025.
- c. Sinnissippi Solar – Project has been quiet.
- d. Hackbarth Solar – Project is operational with WE to complete capacity testing, finishing construction, demobilizing and final vegetation should be planted in the spring.
- e. Whitewater Solar Project – There has been no discussion. PSC is currently reviewing.
- f. Town of Waterloo Solar Project – There are no updates.

13. Discussion on WE Energies Liquefied Natural Gas (LNG) Facility in the Town of Ixonia

Zangl reported there have been no updates, but project is in its operational phase.

14. Discussion and Possible Action on an Amendment to the Zoning Ordinance Regarding Solar Energy Systems

Items from last discussion were incorporated with more discussion needed on setbacks and soils. Draft will be given to Danielle for her input on language. Draft will be reviewed again in January for a final draft then will go to Towns for their input.

15. Discussion and Possible Action on Enforcement Actions at Riverbend RV Resort at W6940 Rubidell Road in the Town of Milford

Discussion of concern for public safety, flooding concerns, DNR audits forthcoming, FEMA issues, possible long-term solutions to non-compliance of lots as the Ordinance is clear. Corporation Counsel Thompson spoke about communicating compliance with the Rubidell Association board, committee to set standard including level of enforcement. The Committee viewed pictures of the lots and directed staff to research options for enforcement.

16. Discussion on Resubmittal of the Oakland Hills Subdivision Preliminary Plat

Discussion took place regarding concern of single access in and out of subdivision, second access requested, and concern of encroachment to outlots. Concerns will be addressed with developer.

17. Discussion and Possible Action on Reclassifying the Program Assistant Position within the Zoning Division

Zangl explained that due to a retirement, the position would be more of a technician position with increase of permit fees to offset the position's salary increase. Motion was made by Supervisor Foelker/Poulson to approve with draft to determine the appropriate fee increase to offset the position increase. Motion passed on voice vote 5-0.

18. Discussion and Possible Action on Petitions Presented in Public Hearing on December 19, 2024:

See rezone and conditional use file for complete decision

APPROVED R4572A-24 & CU2136-24 –Whitewater Islamic Center Inc: Rezone 5-acres from A-1 to A-2 to allow for a 5-acre private religious cemetery (public/semi-public use) with capacity for approximately 4000 gravesites along **Tri-County Road** in Town of Koshkonong, PIN 016-0514-3643-000 (23.74 ac.) and 016-0514-3643-002 (4.967 ac). This in accordance with Sec. 11.04(f)7 of the Jefferson County Zoning Ordinance. Motion by Poulson/Foelker to approve the rezone request with conditions. Motion approved on a 5-0 voice vote. Motion by Nass/Poulson to approve the conditional use. Motion approved on a 5-0 voice vote.

APPROVED R4573A-24 – Joshua Edwards: Rezone to create two 2.0-acre lots at **N5118 Bakertown Road** in the Town of Concord, PIN 006-0716-3313-001 (14 ac). The property is owned by Patrick A. & Susan B. Pelikan. This is in accordance with Sec. 11.04(f)8 of the Jefferson County Zoning Ordinance. Motion by Jaeckel/Poulson to approve the rezone request with conditions. Motion approved on a 5-0 voice vote.

APPROVED R4574A-24 –Evan & Kate Karow: Rezone to create a 2.0-acre lot west of **W6116 Star School Road** in the Town of Koshkonong, PIN 016-0514-2111-000 (37.671 ac). The property is owned by Dale Karow. This is in accordance with Sec. 11.04(f)8 of the Jefferson County Zoning Ordinance. Motion by Poulson/Foelker to approve the rezone request with conditions. Motion approved on a 5-0 voice vote.

APPROVED R4575A-24 – Febock Brothers: Rezone to create a 1-acre residential lot north of **N5190 State Road 134** in the Town of Lake Mills from PIN 018-0713-3121-000 (60.68 ac). This is in accordance with Sec. 11.04(f)8 of the Jefferson County Zoning Ordinance. Motion by Jaeckel/Poulson to approve the rezone request with conditions. Motion approved on a 5-0 voice vote.

APPROVED R4576A-24 – Michels Road & Stone LLC: Rezone A-3 to A-1 for non-metallic mining at **N9614 Doepke Road** in the Town of Waterloo, PIN 030-0813-0321-001 (2.1 ac). Property is owned by P&Q Waterloo LLC. This is in accordance with Sec. 11.04(f)6 of the Jefferson County Zoning Ordinance. Motion by Nass/Foelker to approve the rezone request with conditions. Motion approved on a 5-0 voice vote.

APPROVED R4577A-24 – Michels Road & Stone LLC: Rezone A-3 to A-1 for non-metallic mining at **W8301 Doepke Road** in the Town of Waterloo, PIN 030-0813-0331-002 (4 ac). Property is owned by P&Q Waterloo LLC. This is in accordance with Sec. 11.04(f)6 of the Jefferson County Zoning Ordinance. Motion by Nass/Foelker to approve the rezone request with conditions. Motion approved on a 5-0 voice vote.

APPROVED R4578A-24 – Michels Road & Stone LLC: Rezone A-3 to A-1 for non-metallic mining at **W8333 Doepke Road** in the Town of Waterloo, PIN 030-0813-0331-001 (7.19 ac). Property is owned by P&Q Waterloo LLC. This is in accordance with Sec. 11.04(f)6 of the Jefferson County Zoning Ordinance. Motion by Nass/Foelker to approve the rezone request with conditions. Motion approved on a 5-0 voice vote.

APPROVED R4579A-24 – Michels Road & Stone LLC: Rezone A-3 to A-1 for non-metallic mining at **W8337 Doepke Road** in the Town of Waterloo, PIN 030-0813-0331-003 (4 ac). Property is owned by P&Q Waterloo LLC. This is in accordance with Sec. 11.04(f)6 of the Jefferson County Zoning Ordinance. Motion by Nass/Foelker to approve the rezone request with conditions. Motion approved on a 5-0 voice vote.

APPROVED R4580A-24 & CU2138-24–Matthew P. Hasel: Rezone 1.09-acres from A-3 to A-2 to allow for landscaping and tree service business to store equipment and personal materials at **W7778 Conservaion Road** in Town of Lake Mills, PIN 018-0713-2644-003 (2.3 ac.). This is in accordance with Sec. 11.04(f)7 of the Jefferson County Zoning Ordinance. Motion by Nass/Foelker to approve the rezone request with conditions. Motion approved on a 5-0 voice vote. Motion by Foelker/Jaeckel to approve the conditional use. Motion approved on a 5-0 voice vote.

APPROVED CU2137-24 – P&Q Waterloo LLC: Conditional Use to allow operation of a non-metallic mining site on 8 parcels along **Doepke Rd.** in the Town of Waterloo, PINs 030-0813-0322-001 (3.789 ac), 030-0813-0321-001 (2.1 ac), 030-0813-0331-003 (4 ac), 030-0813-0331-002 (4 ac), 030-0813-0323-002 (19.507 ac), 030-0813-0321-000 (40.233), 030-0813-0331-001 (7.19 ac), 030-0813-0324-000 (40 ac). This is in accordance with Sec. 11.04(f)6 of the Jefferson County Zoning Ordinance. Motion by Jaeckel/Foelker to approve the rezone request with conditions. Motion approved on a 5-0 voice vote.

APPROVED CU2139-24 – Robb Brinkmann: Conditional Use to allow for retail sales of landscape supplies in an Industrial zone at **N6131 County Road Y** in the Town of Farmington, PIN 008-0715-1833-000 (22.385 ac). The property is owned by Thomas E. & Kathy L. Gallitz Trust. This is in accordance with Sec. 11.04(f)1 & 2 of the Jefferson County Zoning Ordinance. Motion by Poulson/Jaekel to approve the conditional use. Motion approved on a 5-0 voice vote.

APPROVED CU2140-24 – Chad Coomer: Conditional Use to allow an extensive storage structure 1500 sq. ft., 24 ft. high, in C-zone for personal use at **W230 Madison Ave.** in the Town of Ixonia, PIN 012-0816-2513-015 (.72 ac). This is in accordance with Sec. 11.04(f)1 & 2 of the Jefferson County Zoning Ordinance. Motion by Nass/Foelker to approve the conditional use. Motion approved on a 5-0 voice vote.

APPROVED CU2141-24 – Station Ixonia: Conditional Use to allow for eating and drinking place to be added in a B- zone to the gas station at **W1168 American St.** in the Town of Ixonia, PIN 012-0816-2224-000 (1.037 ac). This is in accordance with Sec. 11.04(f)1 & 2 of the Jefferson County Zoning Ordinance. Motion by Nass/Poulson to approve the conditional use. Motion approved on a 5-0 voice vote.

19. Planning and Development Department Update

Zangl had nothing other than what has been discussed.

20. Possible Future Agenda Items

Approve Public Hearing minutes from December 19, 2024

Supervisor Poulson requested that the Committee discuss accessory dwelling units.

21. Discussion on Upcoming Meeting Dates:

January 10, 8:00 a.m. – Site Inspections leaving from Courthouse Room C1049

January 16, 7:00 p.m. – Public Hearing in Courthouse Room C2063

January 27, 8:30 a.m. – Decision Meeting in Courthouse Room C1021

February 14, 8:00 a.m. – Site Inspections leaving from Courthouse Room C1049

February 20, 7:00 p.m. – Public Hearing in Courthouse Room C2063

February 24, 8:30 a.m. – Decision Meeting in Courthouse Room C1021

22. Adjourn

Supervisor Poulson/Jaekel made a motion to adjourn the meeting. Meeting adjourned at 10:09 a.m.

If you have questions regarding the petitions, please contact the Zoning Department at 920-674-7131. Petition files referenced on this agenda may be viewed in Courthouse Room C1040 at 311 S Center Ave between the hours of 8:00 a.m. and 4:30 p.m., Monday through Friday, excluding holidays. Materials covering other agenda items can be found at www.jeffersoncountywi.gov.

A quorum of any Jefferson County Committee, Board, Commission, or other body, including the Jefferson County Board of Supervisors, may be present at this meeting.

Individuals requiring special accommodations for attendance at the meeting should contact the County Administrator at 920-674-7101 at least 24 hours prior to the meeting so that appropriate arrangements can be made.

A digital recording of the meeting will be available in the Zoning Department upon request.

MINUTES
JEFFERSON COUNTY PLANNING AND ZONING COMMITTEE
SITE INSPECTIONS

George Jaeckel, Chair; Steve Nass, Vice-Chair; Blane Poulson, Secretary; Matt Foelker, Cassie Richardson

SUBJECT: Planning and Zoning Committee Site Inspections

DATE: January 10, 2025

TIME: 8:00 a.m.

PLACE: Jefferson County Courthouse, 311 S. Center Ave., Jefferson, WI in Room C1049

1. **Call to Order** - The meeting was called to order by Supervisor Jaeckel at 8:00 a.m.
2. **Roll Call (Establish a Quorum)** – Supervisors Jaeckel, Nass, Poulson and Foelker were present. Supervisor Richardson was excused. Zoning staff present were Matt Zangl, Sarah Elsner, Haley Nielsen and Sharyl Fischback.
3. **Certification of Compliance with Open Meetings Law**- Supervisor Poulson confirmed the meeting is in compliance.
4. **Approval of the Agenda**– Supervisor Poulson made motion to approve agenda, seconded by Supervisor Foelker. Motion passed on voice vote, 4-0.
5. **Public Comment (Not to exceed 15 minutes and not to include petitions slated for decision. Members of the public who wish to address the Committee on specific agenda items must register their request at this time)** – There was no public comments.
6. **Communications** – There was no communications.
7. **Site Inspections for Petitions to be Presented in Public Hearing on January 16, 2025:** - Committee left for site inspections at 8:05 am

R4585A-24 – Godfrey Enterprises LLC: Rezone from R-2 to B to expand an existing business zone north of **W6630 County Road B** in the Town of Aztalan, PIN 002-0714-1713-007 (1.75 ac).

CU2144-24 – Godfrey Enterprises LLC: Conditional Use to update an existing conditional use for the expansion of the parking lot and septic for an existing eating and drinking business at **W6630 County Road B** in the Town of Aztalan, PIN 002-0714-1713-007 (1.75 ac).

CU2145-24 – Godfrey Enterprises LLC: Conditional Use to allow for a duplex on Lot 1 (35,555 sq. ft) on an R-2 zoned lot at **N6330 County Road Q** in the Town of Aztalan, PIN 002-0714-1713-006 (1.25 ac).

CU2146-24 – Godfrey Enterprises LLC: Conditional Use to allow for a duplex on Lot 2 (30,000 sq. ft) on an R-2 zoned lot at **N6330 County Road Q** in the Town of Aztalan, PIN 002-0714-1713-006 (1.25 ac).

R4581A-24 & CU2142-24 –Alex M. & Courtney Zastrow: Rezone 2.6-acres from A-1 to A-2 to allow for a boarding, daycare and retail business for dogs and other pets at **N8668 County Road O** in the Town of Waterloo, PIN 030-0813-1723-001 (35.17 ac).

R4584A-24 & CU2143-24–Duane & Anita Bennett: Rezone 1-acre from A-3 to A-2 to allow for a landscaping business to store equipment at **N9027 County Road Q** in the Town of Milford, PIN 020-0814-0931-002 (1.0 ac).

R4582A-24 – Michael & Rebecca Yenser: Rezone to from A-1 to A-3 to create a 3-acre farm consolidation around the existing buildings at **W4510 Ebenezer Drive** in the Town of Watertown, PIN 032-0815-2922-000 (27.157 ac). The property is owned by Arlene J. Kropf Trust.

R4583A-24 – Michael & Rebecca Yenser: Rezone from A-1 to A-3 to create a 2-acre residential building site at **W4510 Ebenezer Drive** in the Town of Watertown, PIN 032-0815-2922-000 (27.157 ac). The property is owned by Arlene J. Kropf Trust.

8. **Adjourn** – Motion made by Supervisor Foelker seconded by Supervisor Poulson to adjourn at 9:44 a.m. Motion passed on voice vote, 4-0.

If you have questions regarding the petitions, please contact the Planning & Development Department at 920-674-7131. Petition files referenced on this agenda may be viewed in Courthouse Room C1040 between the hours of 8:00 a.m. and 4:30 p.m., Monday through Friday, excluding holidays. Materials covering other agenda items can be found at www.jeffersoncountywi.gov.

A quorum of any Jefferson County Committee, Board, Commission, or other body, including the Jefferson County Board of Supervisors, may be present at this meeting.

Individuals requiring special accommodations for attendance at the meeting should contact the County Administrator at 920-674-7101 at least 24 hours prior to the meeting so that appropriate arrangements can be made.

A digital recording of the meeting will be available in the Planning & Development Department upon request.

NOTICE OF PUBLIC HEARING
JEFFERSON COUNTY PLANNING AND ZONING COMMITTEE

George Jaeckel, Chair; Steve Nass, Vice-Chair; Blane Poulson, Secretary; Matt Foelker; Cassie Richardson

SUBJECT: Map Amendments to the Jefferson County Zoning Ordinance and Requests for Conditional Use Permits
DATE: Thursday, January 16, 2025
TIME: 7:00 p.m. (Doors will open at 6:30)
PLACE: **JEFFERSON COUNTY COURTHOUSE, ROOM C2063**
311 S. CENTER AVE, JEFFERSON, WI 53549
OR Via Zoom Videoconference

PETITIONERS OR MEMBERS OF THE PUBLIC MAY ATTEND THE MEETING VIRTUALLY BY FOLLOWING THESE INSTRUCTIONS IF THEY CHOOSE NOT TO ATTEND IN PERSON:

You are invited to a Zoom meeting.
When: January 16, 2025, at 07:00 PM Central Time (US and Canada)
Meeting ID: 957 3344 0565
Passcode: Zoning
Register in advance for this meeting:

<https://zoom.us/j/95733440565?pwd=eHZRbHZXWXhlUnlKdkhtOXhoTmtNZz09>

After registering, you will receive a confirmation email containing information about joining the meeting.

1. Call to Order

The meeting was called to order by Chairman Jaeckel at 7:00 p.m.

2. Roll Call

All members of the committee were present at 7:00 p.m. Also present were staff members Sarah Elsner and Haley Nielsen. Attending via zoom was Dwan Schuck.

3. Certification of Compliance with Open Meetings Law

Supervisor Poulson verified that the meeting was being held in compliance with Open Meetings Law.

4. Approval of Agenda

Motion by Supervisor Paulson to approve the agenda, seconded by Supervisor Foelker. Motion passed 5-0.

5. Public Hearing

Elsner read aloud the following:

NOTICE IS HEREBY GIVEN that the Jefferson County Planning and Zoning Committee will conduct a public hearing at 7 p.m. on Thursday, January 16, 2025, in Room C2063 of the Jefferson County Courthouse, Jefferson, Wisconsin. Members of the public will be allowed to be heard regarding any petition under consideration by the Planning and Zoning Committee. **PETITIONERS, OR THEIR REPRESENTATIVES SHALL BE PRESENT EITHER IN PERSON OR VIA ZOOM.** Matters to be heard are petitions to amend the official zoning map and applications for conditional use permits. A map of the properties affected may be obtained from the Zoning Department. Individual files, which include staff finding of fact, are available for viewing between the hours of 8:00 a.m. and 4:30 p.m., Monday through Friday, except holidays. If you have questions regarding these matters, please contact Zoning at 920-674-7131.

Decisions on Conditional Use Permits will be made on **January 27, 2025**

Recommendations by the Committee on Rezones, will be made on **January 27, 2025**

Final decision will be made by the County Board on **February 11, 2025**

FROM A-1 EXCLUSIVE AGRICULTURAL TO A-2, AGRICULTURAL AND RURAL BUSINESS WITH CONDITIONAL USE

All are in accordance with Sec. 11.04(f)7 of the Jefferson County Zoning Ordinance

R4581A-24 & CU2142-24 –Alex M. & Courtney Zastrow: Rezone 2.6-acres from A-1 to A-2 to allow for a boarding, daycare and retail business for dogs and other pets at **N8668 County Road O** in Town of Waterloo, PIN 030-0813-1723-001 (35.17 ac.).

PETITIONER: Alex & Courtney Zastrow (N8668 County Road O) & Ben Frelland (contractor). Would like to construct facility (6000 square feet) for training, private park parties, indoor pool, and retail sales of pet food and supplies.

COMMENTS IN FAVOR: Elsner noted that six letters were received in favor of the request.

Janelle Downie (W12040 Sullivan Road, Waterloo)
Katie Capadona (Waterloo)
Shannon Lang (Waterloo)
Emily Pedersen (Waterloo)
Tara Johnson (No address listed)
Jonathan Vallier (No address listed)
Katie Vallier (Owns business in Lake Mills)

Elsner summarized those letters, which included reasons in favor of the request such as the business being a convenient addition to the area, as there are few similar businesses in the area, eliminating the need to travel far for the proposed services. One submittal mentioned that they aim to support local businesses in the area, in the circumstance that this is approved, they would be able to do so. Another submittal mentioned that they think this will provide good services to the community.

COMMENTS OPPOSED:

- Dwam Schuck (N8658 County Road O) – Did not speak via zoom, Elsner read letter received by Dwam Schuck. Letter included concerns such as property value, noise (barking), disruption to Ms. Schuck's horses, and erosion.
- Gary Skalitzky (N8733 County Road O) – Mr. Skalitzky said that his dog(s) get aggravated by the petitioners' dogs. Said County Road O is a busy road. Has concerns with barking. Asked if the dogs will stay on the 2.6 acres proposed to be rezoned.

REBUTTAL: Courtney Zastrow responded to the concerns. The area for dogs will be fenced in, and they will not be able to leave that area. Explained property values are subjective – and are based on what someone is willing to pay for it. Her own dogs do run free but are not able to leave the property. She said she will carry insurance in a circumstance a dog runs out onto the road, in which she will work to prevent. Explained barking will be minimal, as dogs will be inside at night, and it is not common for dogs to bark continuously. The neighbors' horses are used to barking already, but a privacy fence and trees will be added to mitigate the disturbance.

Ben Frelland (contractor) added that any required erosion control measures required will be followed.

STAFF: Given by Elsner and in file. Elsner asked about hours of operation (7/8:30 to 4-6 for pick-up/drop off, 7 days a week majority M-F appt. only on Sat/Sun), proposed signs (yes at door), number of dogs (50 max only for events), septic plans (dog waste will be double bagged), lighting (limited fixtures, not to extend past property lines), number of employees (4-5).

TOWN: In favor.

FROM A-1 EXCLUSIVE AGRICULTURAL TO A-3, AGRICULTURAL/RURAL RESIDENTIAL

All are in accordance with Sec. 11.04(f)8 of the Jefferson County Zoning Ordinance

R4582A-24 – Michael & Rebecca Yenser: Rezone to from A-1 to A-3 to create a 3-acre farm consolidation around the existing buildings at **W4510 Ebenezer Drive** in the Town of Watertown, PIN 032-0815-2922-000 (27.157 ac). The property is owned by Arlene J. Kropf Trust.

PETITIONER: Michael Yenser/Rebecca Yenser (W4368 Ebenezer Drive), presented for this rezone. Is requesting a three-acre lot for farm consolidation and a two-acre new residential lot at W4510 Ebenezer Drive.

COMMENTS IN FAVOR:. None.

COMMENTS OPPOSED: None.

REBUTTAL: None.

STAFF: Given by Nielsen and in the file. Nielsen asked what year the house was built and septic location. House was built 1850 and there will be a new septic installed by the woods.

TOWN: In favor.

R4583A-24 – Michael & Rebecca Yenser: Rezone from A-1 to A-3 to create a 2-acre residential building site at **W4510 Ebenezer Drive** in the Town of Watertown, PIN 032-0815-2922-000 (27.157 ac). The property is owned by Arlene J. Kropf Trust.

PETITIONER: Michael Yenser/Rebecca Yenser (W4368 Ebenezer Drive), presented for this rezone. Is requesting a three-acre lot for farm consolidation and a two-acre residential lot at W4510 Ebenezer Drive.

COMMENTS IN FAVOR:. None.

COMMENTS OPPOSED: None.

REBUTTAL: None.

STAFF: Given by Nielsen and in the file. Nielsen asked for the reason a two-acre lot is being requested. Will leave more space for purchaser.

TOWN: In favor.

FROM A-3, AGRICULTURAL/RURAL RESIDENTIAL TO A-2 AGRICULTURAL AND RURAL BUSINESS WITH CONDITIONAL USE

All are in accordance with Sec. 11.04(f)7 of the Jefferson County Zoning Ordinance

R4584A-24 & CU2143-24–Duane & Anita Bennett: Rezone 1-acre from A-3 to A-2 to allow for landscaping business to store equipment at **N9027 County Road Q** in Town of Milford, PIN 020-0814-0931-002 (1.0 ac.).

PETITIONER: Duane Bennett (N9045 County Road Q) retired and wants to start small landscape business, one ton plow truck, one tractor, a few mowers. Build 30' x 50' building. There will be no employees, no sign, no parking lot. Anybody driving by will just see a building, plows already, and people want him to do it more.

COMMENTS IN FAVOR:. None.

COMMENTS OPPOSED: None.

REBUTTAL: None.

STAFF: Given by Nielsen and in file. Nielsen asked about hours of operation, lighting, proposed bathrooms, signs, size of proposed building, retail sales onsite, employees, public coming to site, and if the business will have any relation to the neighboring wedding barn business.

Hours of operation are M-F in the summer, and as weather permits in the winter. Security lighting. No bathrooms proposed, no signs, proposed building 30' x 50'. No retail sales onsite, no public to the site. The business will not have direct relation to wedding barn business, with the exception of hiring the landscape business to complete work at the wedding barn.

TOWN: In favor.

FROM R-2 RESIDENTIAL, UNSEWERED TO B-BUSINESS WITH CONDITIONAL USE

All are in accordance with Sec. 11.04(f)3 of the Jefferson County Zoning Ordinance

R4585A-24 – Godfrey Enterprises LLC: Rezone from R-2 to B to expand an existing business zone north of **W6630 County Road B** in the Town of Aztalan, PIN 002-0714-1713-007 (1.75 ac).

PETITIONER: Darren Godfrey (N5845 Harvey Road), rezoning to commercial for parking lot.

COMMENTS IN FAVOR:. None.

COMMENTS OPPOSED: None.

REBUTTAL: None.

STAFF: Given by Nielsen and in the file. Nielsen asked if there are any changes of the business operation/hours being proposed. No change.

TOWN: In favor, with comment “Rezone to B (Business) is sensible to keep all business activity together. The land use as a parking lot is beneficial in keeping the County roads free of parked cars.”

CU2144-24 – Godfrey Enterprises LLC: Conditional Use to update an existing conditional use for the expansion of the parking lot and septic for an existing eating and drinking business at **W6630 County Road B** in the Town of Aztalan, PIN 002-0714-1713-007 (1.75 ac).

PETITIONER: Darren Godfrey (N5845 Harvey Road), permission to continue doing what they are doing.

COMMENTS IN FAVOR:. None.

COMMENTS OPPOSED: None.

REBUTTAL: None.

STAFF: Given by Nielsen and in the file.

TOWN: In favor.

CONDITIONAL USE PERMIT APPLICATIONS

All is in accordance with Sec. 11.04(f)2 of the Jefferson County Zoning Ordinance

CU2145-24 – Godfrey Enterprises LLC: Conditional Use to allow for a duplex on Lot 1 (35,555 sq. ft) on an R-2 zoned lot at **N6330 County Road Q** in the Town of Aztalan, PIN 002-0714-1713-006 (1.25 ac).

PETITIONER: Darren Godfrey (N5845 Harvey Road), two buildable sites. Asking for permission to put duplexes on the two lots.

COMMENTS IN FAVOR: None.

COMMENTS OPPOSED: None.

REBUTTAL: None.

STAFF: Given by Nielsen and in file. Nielsen asked about size of proposed duplex. Not sure yet. Elsner asked if a soil test has been completed on the lot. Yes. Elsner asked if the mounds would be two separate systems or shared. Two separate mound systems for the duplexes.

TOWN: In favor, with comment “encourage housing rehabilitation and unfill residential development on vacant lots within existing developed areas.”

CU2146-24 – Godfrey Enterprises LLC: Conditional Use to allow for a duplex on Lot 2 (30,000 sq. ft) on an R-2 zoned lot at **N6330 County Road Q** in the Town of Aztalan, PIN 002-0714-1713-006 (1.25 ac).

PETITIONER: Darren Godfrey (N5845 Harvey Road), two buildable sites. Asking for permission to put duplexes on the two lots.

COMMENTS IN FAVOR: None.

COMMENTS OPPOSED: None.

REBUTTAL: None.

STAFF: Given by Nielsen and in file. Nielsen asked about size of proposed duplex. Not sure yet. Elsner asked if a soil test has been completed on the lot. Yes. Elsner asked if the mounds would be two separate systems or shared. Two separate mound systems for the duplexes.

TOWN: In favor, with comment “encourage housing rehabilitation and unfill residential development on vacant lots within existing developed areas.”

6. Adjourn

Supervisor Foelker moved to adjourn at 7:43 pm and was seconded by Supervisor Richardson. Motion passed 5-0 on a voice vote.

A quorum of any Jefferson County Committee, Board, Commission or other body, including the Jefferson County Board of Supervisors, may be present at this meeting.

Individuals requiring special accommodations for attendance at this meeting should contact the County Administrator 24 hours prior to the meeting at 920-674-7101 so appropriate arrangements can be made.

A digital recording of the meeting will be available in the Zoning Department upon request.



Tony Evers, Governor
Dan Hereth, Secretary Designee

January 3, 2025

Matt Zangl, Director of Planning and Development
County of Jefferson
311 South Center Avenue
Jefferson, WI 53549
mattz@jeffersoncountywi.gov

VIA EMAIL

Re: Jefferson County Agent Delegation for Private On-Site Wastewater Treatment System (POWTS) Plan Review

Dear Matt Zangl,

I am pleased to inform you that per your request, your county has been delegated POWTS plan review authority effective March 1, 2025. Per Wis. Stat. § 145.20 and Wis. Admin. Code § SPS 383.23(1), the Department delegates your municipality the primary responsibility to do plan review for the following commercial and residential POWTS installations utilizing approved component manuals:

1. At-Grade systems with a design wastewater flow (DWF) of up to 1,000 gallons per day.
2. Non-pressurized in-ground systems with a DWF of up to 1,000 gallons per day.
3. Mound systems with a DWF up to 1,000 gallons per day.
4. Replacement septic and pump tanks with a DFW of up to 1,000 gallons per day.

Per Wis. Admin. Code § SPS 383.23(1), the Department also delegates your county the responsibility to do plan review for POWTS holding tanks based on $\geq 3,000$ gallons per day estimated flow utilizing approved component manuals and products.

An exception to this delegation is that our agency retains jurisdiction for plan review for all state-owned buildings, as well as projects for which the owner chooses to submit plans to our agency.

As a condition of this delegation, you are required to comply with the following:

- Notify the department, in writing, immediately of any personnel changes to plan review staff.
- Notify the Department, in writing, at least 30 days prior to the date upon which the appointed agent intends to relinquish the responsibilities assumed under this section.

The Department will periodically monitor delegated agents and request activity reports to ensure that the delegated responsibilities are being properly fulfilled by the municipality. The Department requires delegated municipal code official(s) hold the Wisconsin POWTS Inspector certification and the Wisconsin Soils Tester license.

In accordance with 2017 Wisconsin Act 198, the Department will be implementing a five-year electronic renewal process. Please continue to monitor Department correspondence as further details regarding this process are communicated.

The Department understands that the primary POWTS plan reviewers for your municipality are you, Matt Zangl, Sarah Elsner, and Haley Nielsen,, and that you all have the proper certification(s) to do so.

Our POWTS consultant for your area, Travis Wagner, at (608) 598-0715, is available to assist in any questions or concerns your county may have with these POWTS enforcement services. Plan review training is available by contacting Joshua Rowley at (715) 634-5124, which is offered during non-peak review months.

The Division of Industry Services looks forward to working with you.

Sincerely,

Bradley A Johnson

Bradley A. Johnson, P.E., Bureau Director, Field Services Bureau

Register of Deeds

December 2024

Program/Service Description	Output Measures			YR to Date	Current Yr. Target
	2022	2023	2024	Totals	%
Documents Recorded	850	731	897	10,558	83%
Vital Records Filed	201	201	199	2,480	103%
Vital Record Copies	1,217	1,315	1,351	15,497	103%
ROD Revenue (Gross Total)	\$ 175,292.15	\$ 145,657.32	\$ 220,762.13	\$2,016,595.96	111%
Transfer Fees	\$ 26,636.82	\$ 21,535.62	\$ 35,088.90	\$ 295,744.62	90%
LIO Fees	\$ 7,350.00	\$ 6,457.00	\$ 7,918.00	\$ 93,094.50	85%
Document Copies	\$ 5,836.05	\$ 4,692.15	\$ 5,059.38	\$ 63,566.50	116%
Laredo	\$ 2,671.00	\$ 3,251.07	\$ 4,830.25	\$ 51,539.86	161%
ROD Revenue to General Fund	\$ 52,660.87	\$ 44,969.84	\$ 61,139.53	\$ 626,013.98	94%
Percentage of Documents eRecorded	59%	61%	71%	66%	
Budget Goals Met	Yes	Yes	Yes	No	No
Back Indexed	6,826	2,213	2,505	25,953	130%

Wisconsin Register of Deeds Association:

Continue to work on 2023 WI Act 235, judicial officer privacy bill. We have identified several items that will need clarification from the bill author and the legislature. Partnering with WLIA regarding seeking additional funding for the Land Information Plan.

Register of Deeds Office:

The staff continues to work on back indexing documents for easier access. Giving our searchers and staff the ability to search documents by name and legal description back to mid 1937.

Wisconsin Counties Association Board of Directors:

WCA Services Inc. has a program with lenders, offering 1st time home buyers a 5% down payment, up to \$10,000. When the mortgage is sold, the money is paid back to WCA Services Inc. Lenders will need to be linked to WCA Service Inc. Forward Analytics will be creating an interactive map for shared revenue and other studies, watch for it in 2025. Something all employers need to consider is child care access for thier businesses to attract employees.

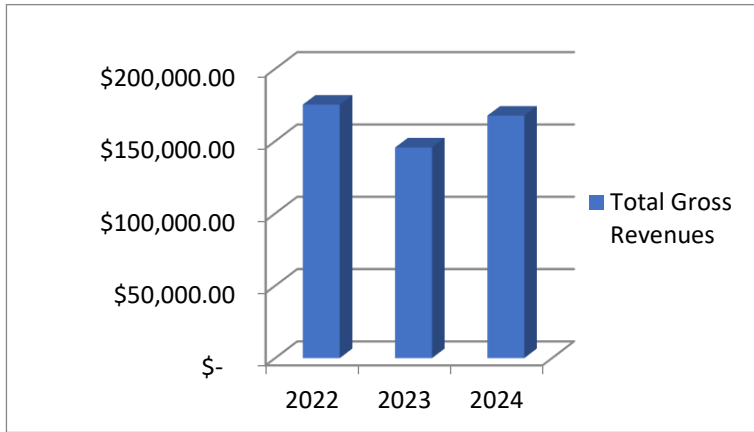
Wisconsin Public Records Board:

Nothing new to report.

Register of Deeds Year to Date Budget Report

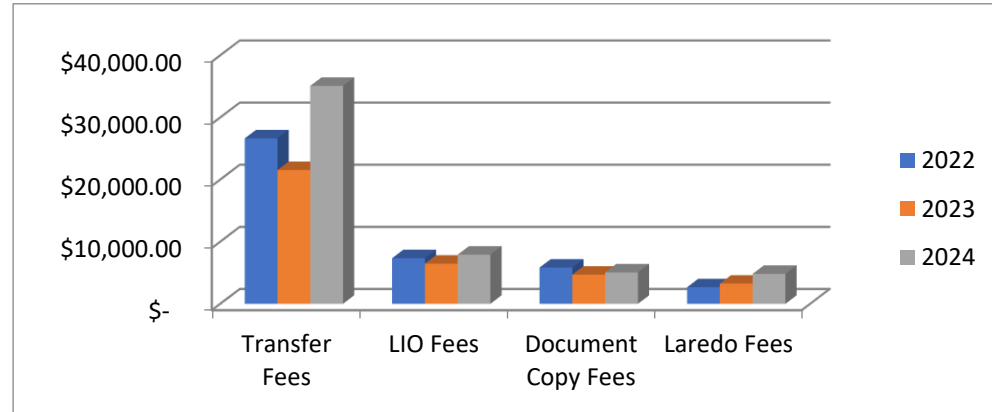
December

ROD Total Gross Revenues

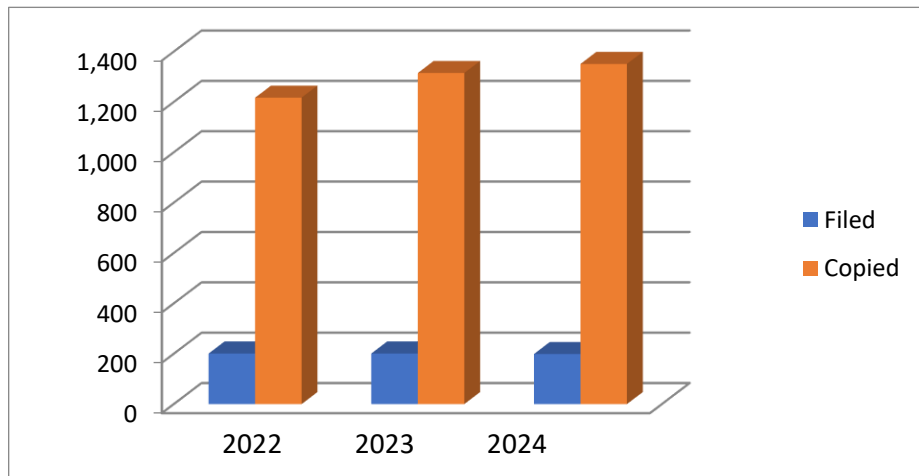


2024

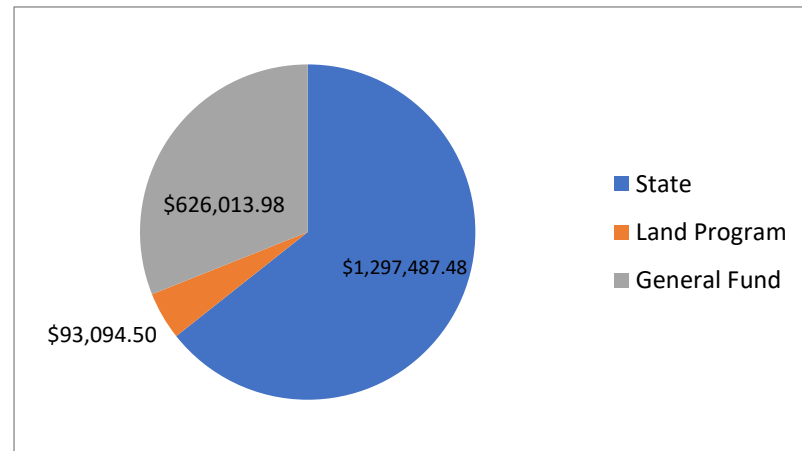
Land Related Revenue



Vital Records



Year to Date Revenue Payout



**Post-Construction Noise
Study
Crawfish River Solar
Jefferson County,
Wisconsin**



Prepared for:
Crawfish River Solar, LLC
222 S. Wisconsin Drive
Jefferson, WI 53549

Prepared by:
Stantec Consulting Services Inc.
733 Marquette Avenue, Suite 1000
Minneapolis, MN 55402

Stantec Project No: 19370761

November 13, 2024

NOVEMBER 13, 2024

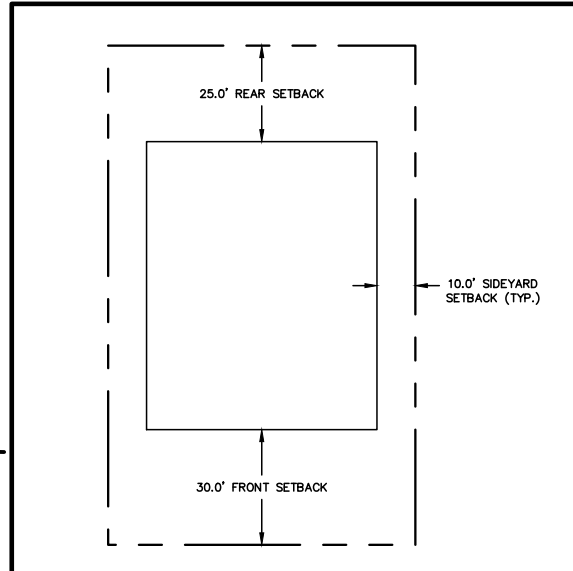
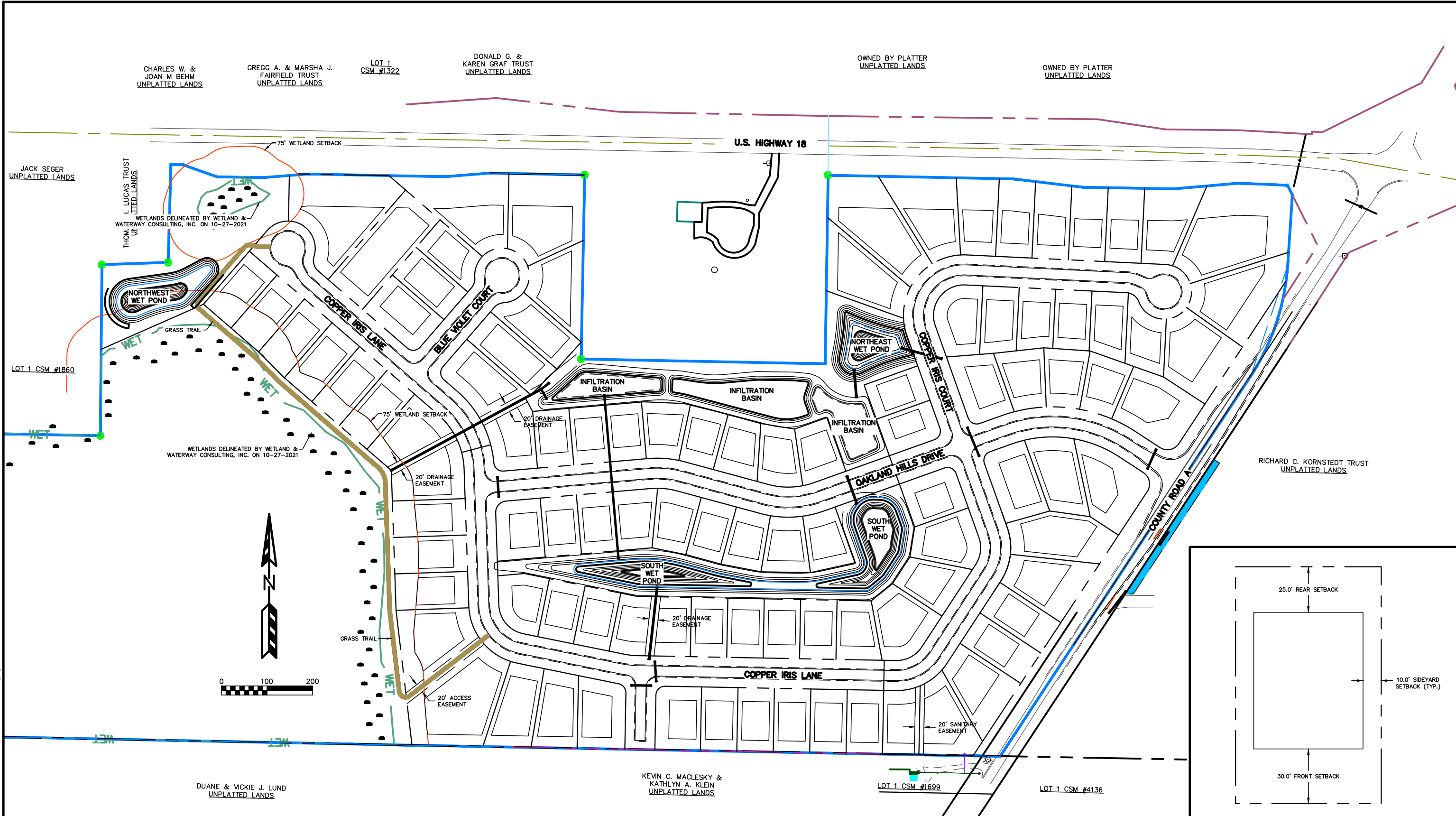
TABLE 7.2: SUMMARY OF MEASURED L₉₀ SOUND LEVELS

Location	Morning		Midday		Evening		Nighttime	
	Equipment Off (dBA L ₉₀)	Equipment On (dBA L ₉₀)	Equipment Off (dBA L ₉₀)	Equipment On (dBA L ₉₀)	Equipment Off (dBA L ₉₀)	Equipment On (dBA L ₉₀)	Equipment Off (dBA L ₉₀)	Equipment On (dBA L ₉₀)
CR-ML-1	46	46	43	46	47	42	--	43
CR-ML-2	41	35	41	30	38	34	--	32
CR-ML-3	40	40	44	41	38	36	--	30
CR-ML-4	45	46	40	36	36	36	--	46

8.0 Conclusion

On September 30 and October 1, 2024, Stantec completed a post-construction sound survey near the substation and solar array areas for the Crawfish River Solar Project. The purpose of the survey was to quantify the existing acoustical environment with solar facility equipment on and off. Sound measurements were made at the four noise measurement locations shown on Figure 1. Short-term (10-minute) sound measurements were conducted at each of the four locations with samples taken in accordance with the PSCW requirement of four specific testing periods. The most consistent audible sound sources observed during the sampling were vehicle traffic along with fauna noise. Noise attributable to Project solar facility equipment was not audible during any of the measurement periods.

An analysis was carried out of measured sound levels, specifically comparing sound levels when the equipment was on versus off. Based on this analysis, the sound level generated by solar facility equipment meets the PSCW requirements of 50 dBA during the daytime and 45 dBA during nighttime. The post-construction sound survey found that Project equipment did not appreciably contribute to the measured sound levels in this area.



**OAKLAND HILLS SUBDIVISION -
TOWN OF OAKLAND**
 CONCEPT LAYOUT PLAN
 SHEET: C-0
 DATED: NOVEMBER 26, 2024
QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



JEFFERSON COUNTY
PLANNING AND DEVELOPMENT DEPARTMENT
ZONING DIVISION

Room C1040
311 S Center Ave
Jefferson, WI 53549

zoning@jeffersoncountywi.gov
Phone: 920-674-7130
Fax 920-674-7525

DATE: December 11, 2024
TO: Quam Engineering, LLC
John Didion
FROM: Matt Zangl, Director of Planning and Zoning
RE: Oakland Hills Revised Preliminary Plat

The County Surveyor and I have reviewed the preliminary subdivision plat and have the following comments:

Additional comments will be provided regarding the proposed access onto County Road A at a later date.

- The location caption on all pages needs to be rewritten to read “part of the SE ¼, of the SE ¼, of Section 5”.
- The basis of bearing note on all pages refers to the wrong Section, and County.
- Note 5 on Sheet 1 refers to sheet 4. There is no sheet 4.
- The Vicinity Map on sheet 1 shows S.T.H. 19. Please remove.
- Please add a date to go with the graphic scale and north arrow.
- Please add the name and address of the owner and/or subdivider.
- Please add labels to the contours.
- Please label all right-of-way widths of all existing, and proposed streets.
- Please label all adjacent platted lands, or if unplatted, the owner of record.
- Please show the type, width, and elevation of existing street pavements within or adjacent to the Plat.



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Fax 920-674-7525

- Please show the location, size, and invert elevation of existing sanitary, storm, culverts, and drain pipes.
- Please show the location of all manholes, catch basins, hydrants, and utility poles.
- Please show the location, and size of existing water and gas main.
- Indicate by direction and distance from the tract, the size, and invert elevations of sewers, or water mains which might be extended to serve if no sewer or water mains are located on or immediately adjacent to tract.
- Please show all section, and quarter section lines.
- Please show PLSS monuments used to tie the Plat to the PLSS system.
- There are record bearings and distances shown. Please show the measured bearings and distances on the Plat that are in the description.
- At the intersection of State Highway 18, and County Road “A”, there appears to be a DOT parcel that should be labeled.
- At the same intersection, there is a missing line along the east side of Lot 13.
- At the same intersection, there is a curve in the boundary line. Where did this come from? Please provide all title documents, and right-of-way plats used to determine the mapping of boundaries, and easements.
- How much of County Road “A” is being dedicated? Differentiate the existing right of way and proposed right of way.
- Show proposed zoning.
- All lots shall meet the minimum lot size of 80’ x 80’, and 8,000 sq. ft. Please confirm lots meets minimum size (lot 56, 59, 60, 20, etc.).
- Park Dedication or Money In-Lieu
- The ordinance requires a park dedication or money in-lieu. Please identify and discuss which option will be pursued.
- Identify the intended use and ownership of outlots



JEFFERSON COUNTY
PLANNING AND DEVELOPMENT DEPARTMENT
ZONING DIVISION

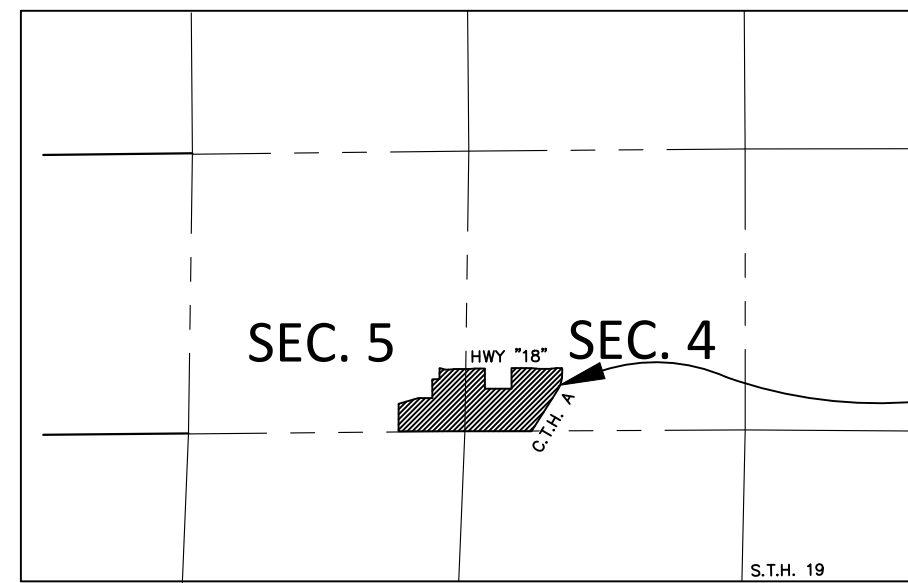
Room C1040
311 S Center Ave
Jefferson, WI 53549

zoning@jeffersoncountywi.gov
Phone: 920-674-7130
Fax 920-674-7525

- For the final plat, a note will be required conveyance ownership or interest of outlots
 - Example: *All conveyances of any lot in this subdivision shall be deemed to include as an appurtenance, an undivided one-forty-sixth (1/46) interest in Outlot 1, the storm water management area, whether or not such fractional interest is specifically set forth in the conveying instrument, unless such fractional interest identified with a particular lot has been acquired by a municipality or other lot owner in this subdivision. Such undivided fractional interests shall be held as tenants in common with the fractional interest held by other lot owners and shall not be conveyed without the lot to which it is appurtenant except as above.*
- Are there draft subdivision covenants and restrictions? Please submit if so.
- Submit preliminary subdivision plat review fees of \$350 + \$10/lot

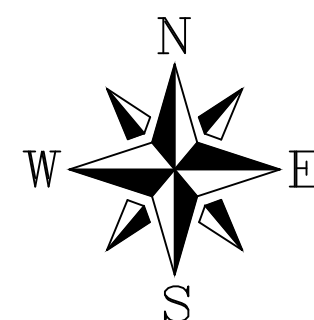
OAKLAND HILLS SUBDIVISION

A Parcel of land located in the SE 1/4 and the SW 1/4 of the SW 1/4 of Section 4, and part SE 1/4 of Section 5, Township 6 North, Range 13 East, Town of Oakland, Jefferson County, Wisconsin



Vicinity Map

Not to Scale



Bearings are referenced to the East line of the Northwest 1/4 of Section 36, which bears N00°09'24"E on the Dane County Coordinate System.

SITE

SURVEYOR'S CERTIFICATE:

I, Matthew E. Hoglund, Professional Land Surveyor, do hereby certify to the best of my knowledge and belief:

That I have surveyed, divided, and mapped Oakland Hills Subdivision, a parcel of land located in the SE 1/4 and the SW 1/4 of the SW 1/4 of section 4 and part SE 1/4 of the SE 1/4 of Section 5, Town 6 North, Range 13 East, in the Town of Oakland, Jefferson county, Wisconsin, being further described as follows:

COMMENCING at the SW corner of said Section 4, also being the POINT OF BEGINNING, thence N89°41'40"W along the South line of said Southeast 1/4 of Section 5, 1330.63'; thence N00°31'12"E, 550.30'; thence N74°02'26"E, 411.75'; thence S89°42'38"E, 282.23'; thence N00°16'54"W, 375.66'; thence N87°15'04"E, 145.24'; thence N00°53'34"E, 215.10' to a point on the south right-of-way line of us Highway 18; thence S89°41'28"E along said south right-of-way, 26.14'; thence continuing along said south right-of-way S71°17'03"E, 79.06'; thence continuing along said south right-of-way S89°42'31"E, 100.00'; thence continuing along said south right-of-way N84°34'30"E, 100.50'; thence continuing along said south right-of-way S89°42'30"E, 299.97'; thence continuing along said south right-of-way N84°35'32"E 100.50'; thence continuing along said south right-of-way S89°42'12"E, 207.75'; thence S00°17'20"W along the west line of CSM #1873, 404.23'; thence S89°42'37"E along the south line of said CSM, 536.15'; thence N00°03'50"E along the east line of said CSM, 414.13' to a point on said south right-of-way line; thence S89°41'58"E along said south right-of-way, 407.71'; thence continuing along said south right-of-way S83°59'21"E, 150.74'; thence continuing along said south right-of-way S89°42'00"E, 199.99'; thence continuing along said south right-of-way N84°08'49"E, 140.04'; thence with a curve to the right a curve length of 112.65', a radius of 2080.63', having a chord that bears S88°32'54"E for a length of 112.65'; thence S27°01'49"E, 23.42' to a point; thence S03°00'06"W, 157.56' to a point; thence along a curve to the right a curve length of 254.99', and a radius of 510.26, a chord that bears S17°41'31"W for a length of 252.35' to a point on the centerline of county a; thence along said centerline S32°33'44"W, 1001.47' to the south line of the SW1/4 of section 4; thence N89°45'05"W, 1338.72' along said south line to the POINT OF BEGINNING. Said parcel contains 3,156,583.9 sf / 72.46 acres more or less.

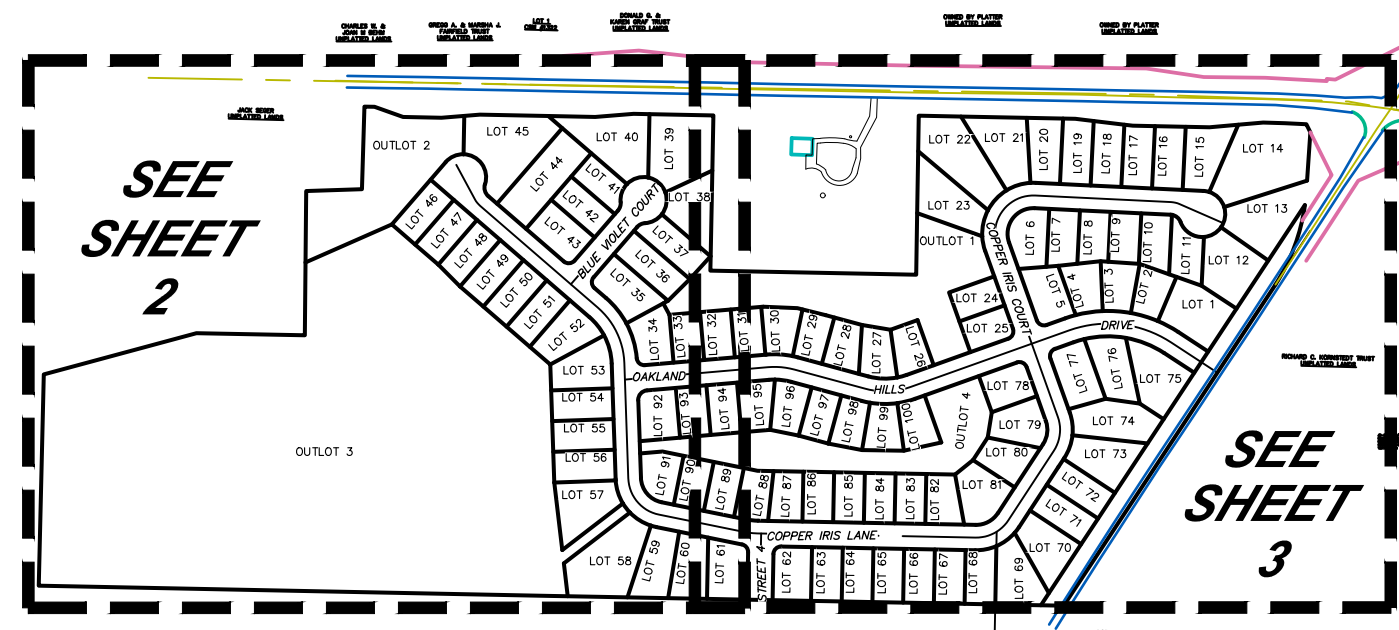
That I have made such survey, land division, and plat by the direction of John Didion, owner of said land. That such plat is a correct representation of all of the exterior boundaries of the land surveyed and the subdivision thereof made; that I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes and the Subdivision Regulations of the Town of Oakland and Jefferson County in surveying, dividing, and mapping the same.

Dated this _____ day of _____, 2024.

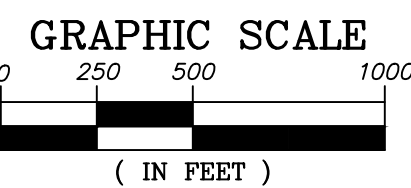
Quam Engineering, LLC
By: Matthew E. Hoglund
P.L.S. S-1910

NOTES:

1. Total parcel of land included in this plat contains 72.46 ± acres.
2. This Parcel is not in a flood hazard area per FEMA flood map 55055C0163f, effective 02/04/2015.
3. All lots to be served by sanitary sewer provided by the Town of Oakland Sanitary District.
4. Access to all storm water maintenance and drainage easements is granted to the Town of Oakland and Jefferson County.
5. See Sheet 4 for Existing Topography.
6. Soils taken from Jefferson County G.I.S. Website, Jan 29, 2023.
7. The environmental corridor taken from Jefferson County G.I.S. Website Jan 29, 2023.
8. Wetlands delineated by Wetland & Waterway Consulting, LLC on Oct. 27, 2021.
9. See Sheet 3 for tangent and curve table.



Sheet Index Map



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

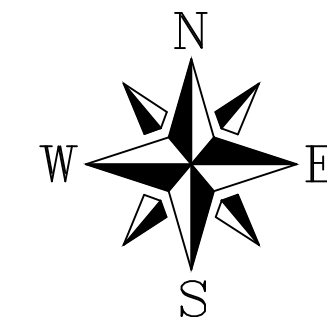
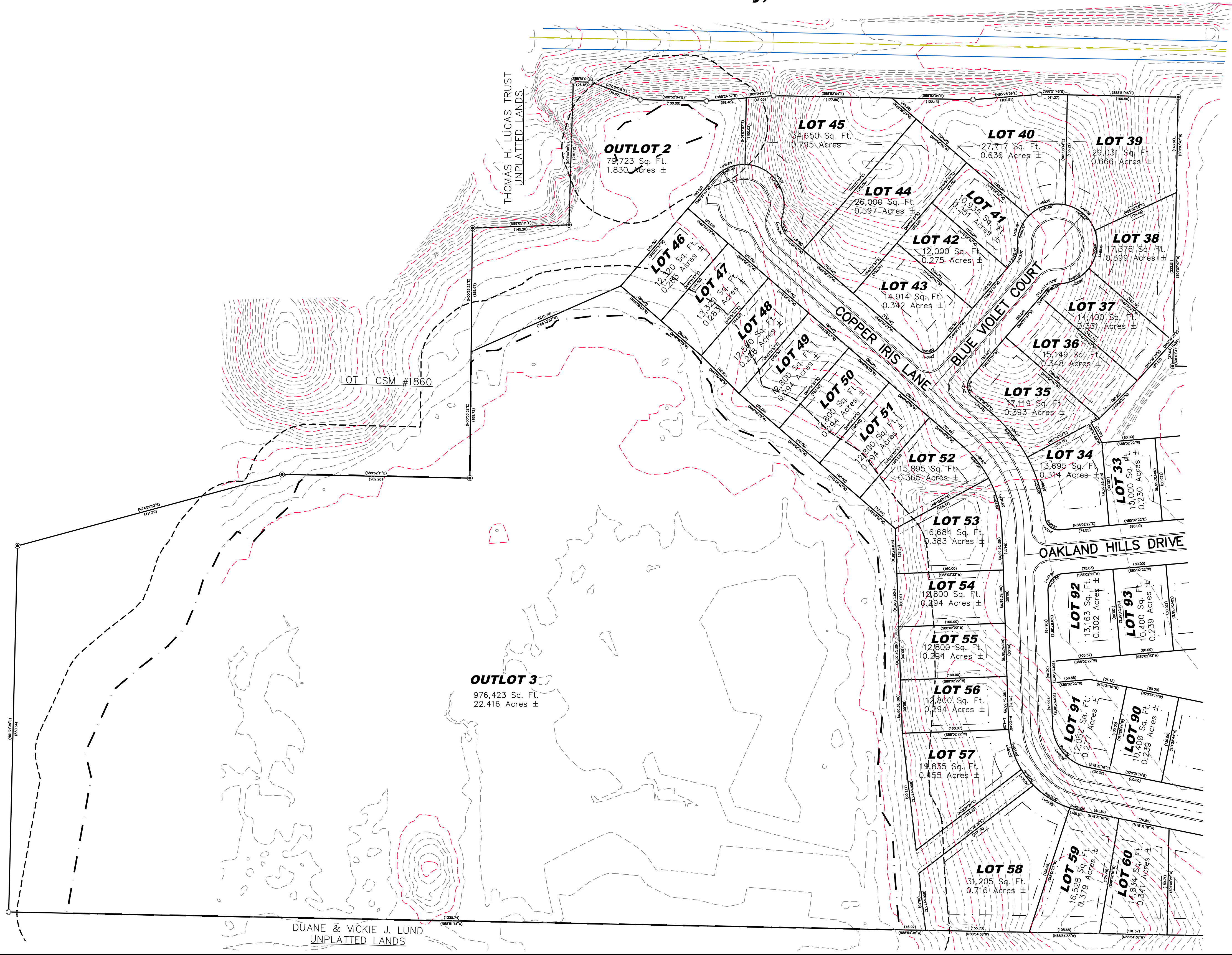
Department of Administration

PRELIMINARY PLAT
OAKLAND HILLS SUBDIVISION
PROJECT NO: JD-20-24
QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

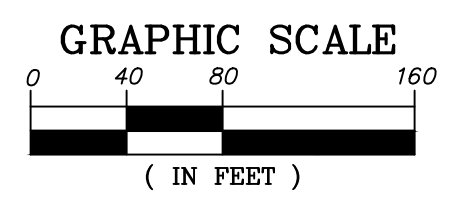
www.quamengineering.com
4604 Siggekow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752

OAKLAND HILLS SUBDIVISION

A Parcel of land located in the SE 1/4 and the SW 1/4 of the SW 1/4 of Section 4,
and part SE 1/4 of Section 5, Township 6 North, Range 13 East, Town of Oakland,
Jefferson County, Wisconsin



Bearings are referenced to the East line of the Northwest 1/4 of Section 36, which bears N00°09'24"E on the Dane County Coordinate System



LEGEND

- 3/4" Rebar Found
- 1-1/4" Rebar Found
- ⊙ 1" Iron Pipe Found (unless noted)
- 1-1/4" by 18" Iron Rebar Set Weighing 4.30 lbs./ft.
- All other Lot and Outlot Corners are Set 3/4" by 18" Iron Rebar Weighing 1.50 lbs./ft.
- (43.12') Record Dimensions (if different) Boundary Lines per this Survey
- Deed/Survey Line of Record
- Existing R/W Line
- Sectional Subdivision Line
- Building Setback line (See Sheet 3 Detail)
- Existing Easement Line
- Proposed Easement Line
- Wetland Line
- 75' Wetland Buffer
- Approx. 100-Year Floodplain Line
- Lot or R/W Line
- Centerline
- Public Utility Easement Line Dedicated Hereon (6' Wide Unless Noted)
- Storm Sewer/Stormwater Management Easement Line Dedicated Hereon

SEE

SHEET

3

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration

SHEET 2 OF 3

PRELIMINARY PLAT
OAKLAND HILLS SUBDIVISION
PROJECT NO: JD-20-24
QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

www.quamengineering.com
4604 Sigelkew Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752

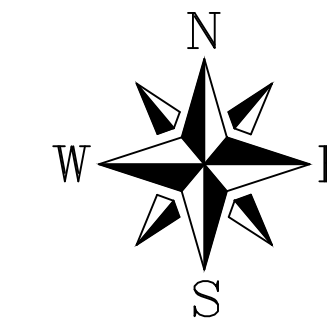
DUANE & VICKIE J. LUND
UNPLATTED LANDS

THOMAS H. LUCAS TRUST
UNPLATTED LANDS

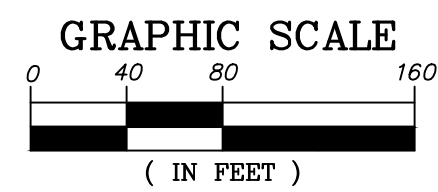
OAKLAND HILLS SUBDIVISION

A Parcel of land located in the SE 1/4 and the SW 1/4 of the SW 1/4 of Section 4,
and part SE 1/4 of Section 5, Township 6 North, Range 13 East, Town of Oakland,
Jefferson County, Wisconsin

Total Area
3,156,358 Sq. Ft.±
72.46 Acres±



Bearings are referenced to
the East line of the
Northwest 1/4 of Section 36,
which bears N00°09'24"E on
the Dane County Coordinate
System



LEGEND

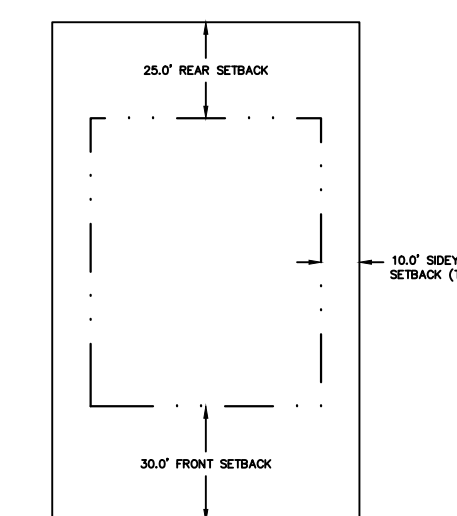
- 3/4" Rebar Found
- 1-1/4" Rebar Found
- ⊙ 1" Iron Pipe Found (unless noted)
- 1-1/4" by 18" Iron Rebar Set Weighing 4.30 lbs./ft.
- All other Lot and Outlot Corners are Set 3/4" by 18" Iron Rebar Weighing 1.50 lbs./ft.
- (43.12') Record Dimensions (if different) Boundary Lines per this Survey
- Deed/Survey Line of Record
- Existing R/W Line
- - - Sectional Subdivision Line
- - - Building Setback line (See Note 7)
- - - Existing Easement Line
- - - Wetland Line
- - - 75' Wetland Buffer
- - - Approx. 100-Year Floodplain Line
- - - Lot or R/W Line
- - - Centerline
- - - Public Utility Easement Line Dedicated Hereon (6' Wide Unless Noted)
- - - Storm Sewer/Stormwater Management Easement Line Dedicated Hereon

TANGENT TABLE

Line Number	Length (FT)	Direction
L1	20.45	N70°31'16"W
L2	2.28	N86°03'35"W
L3	19.74	N86°03'35"W
L4	13.65	S76°08'17"E
L5	4.88	S85°02'22"W
L6	14.06	N61°36'07"E
L7	12.47	S40°51'57"W
L8	26.30	S88°54'38"E
L9	26.17	S70°22'04"W

CURVE DATA TABLE

CURVE	RADIUS (FT)	DELTA	LENGTH (FT)	CHORD
C-1	30	N82°25'06"E	3.97	S83°24'57"E - 4.00'



There are no objections to this plat with respect to
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),
Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration



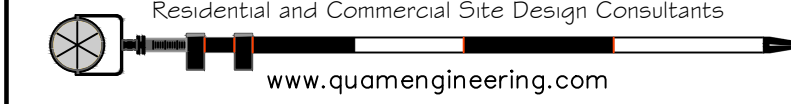
SHEET 3 OF 3

PRELIMINARY PLAT

OAKLAND HILLS SUBDIVISION

PROJECT NO: JD-20-24

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants



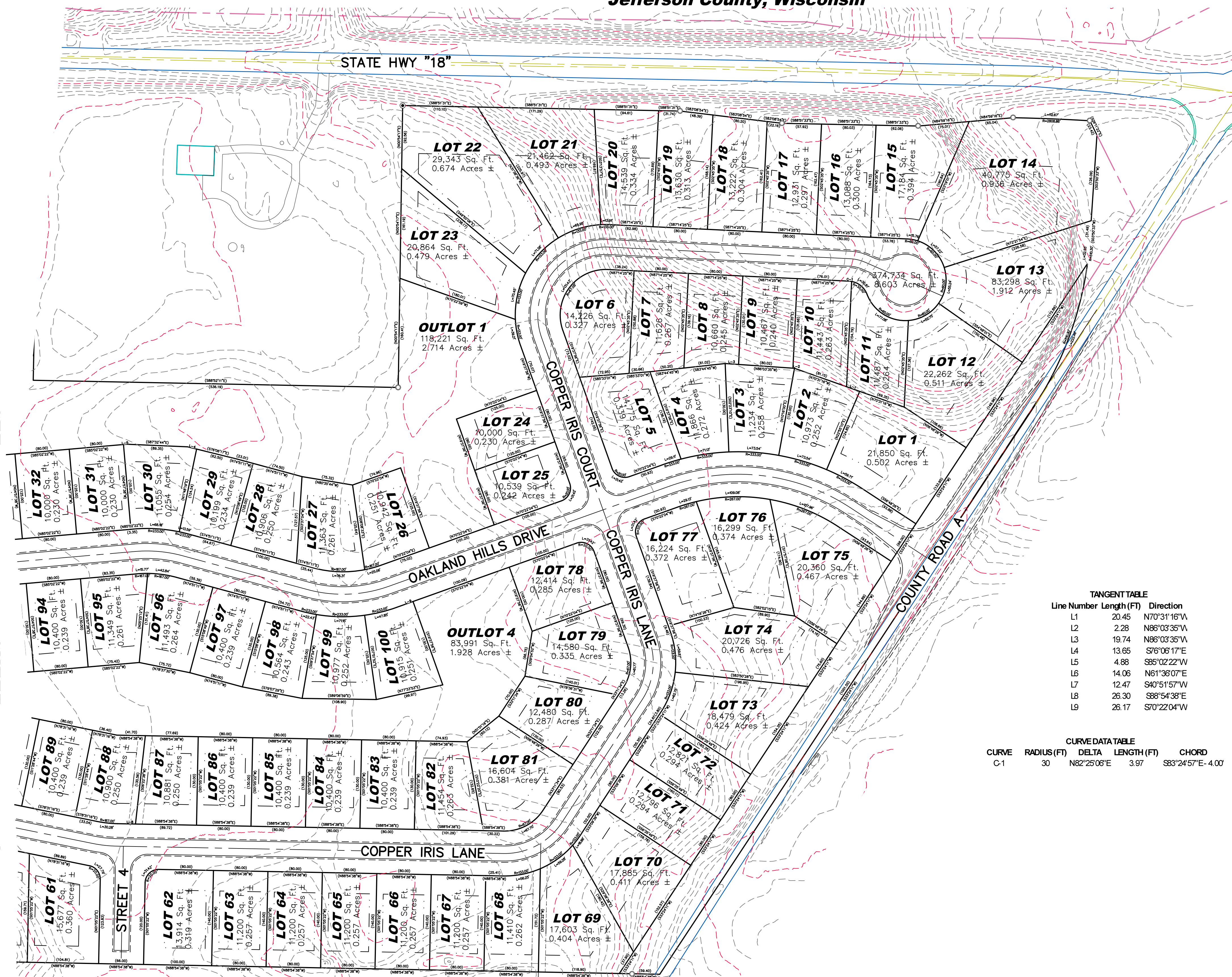
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4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752

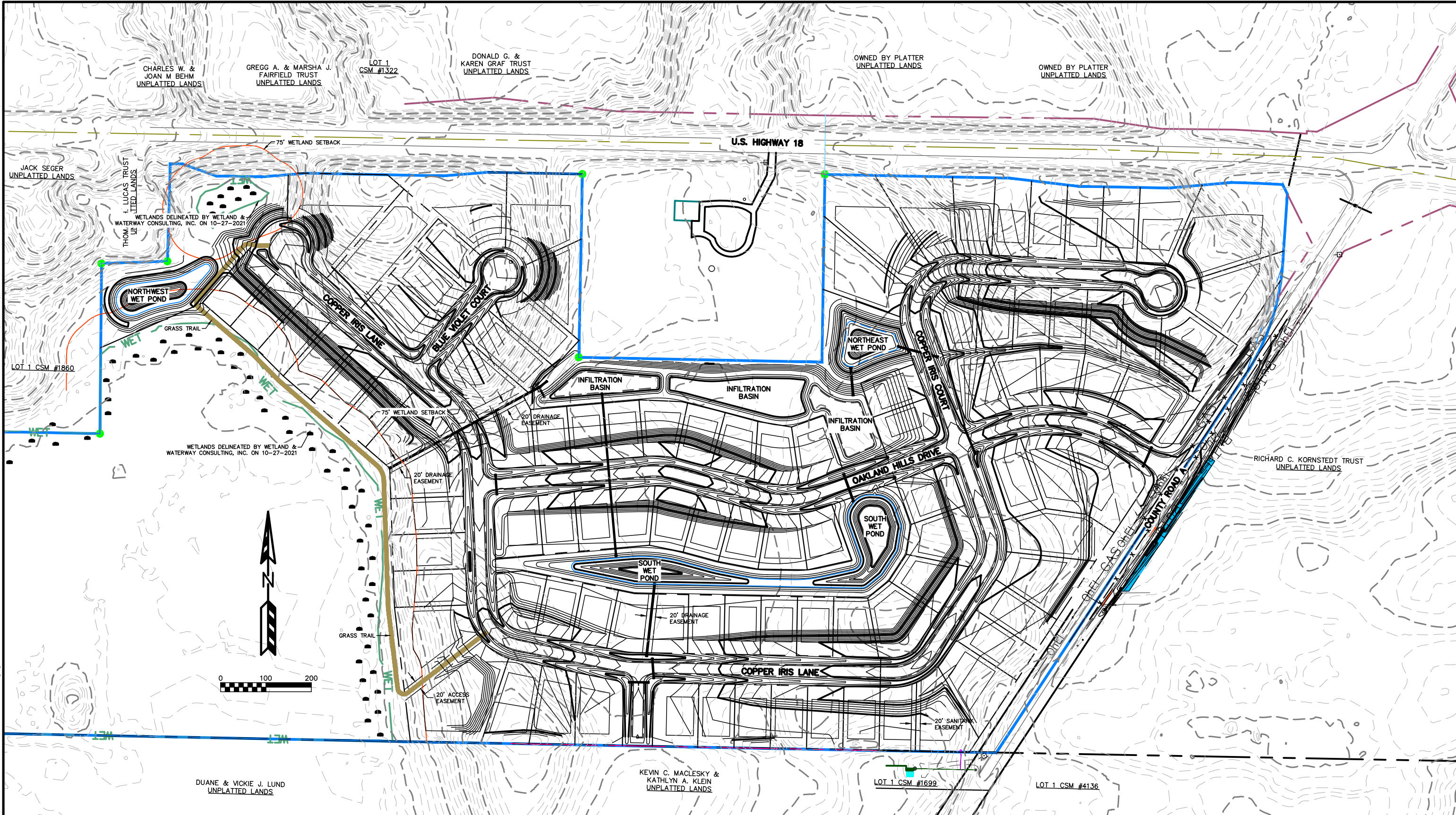
SEE

SHEET

2



QUAM ENGINEERING, LLC 4604 Siggelkow Road, Suite A - McFarland, WI 53558 (608) 838-7750 JD-20-24\JD20BASE.DWG



**OAKLAND HILLS SUBDIVISION -
TOWN OF OAKLAND**
PRELIMINARY GRADING PLAN
SHEET: C-1
DATED: NOVEMBER 26, 2024
QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752

Solar Energy Systems Ordinance

Draft – January 23, 2025

1. Purpose and Scope.

- a. The purpose of this section is to adopt and incorporate the requirements of Wis. Stats. § 66.0401 and § 66.0403 as a local ordinance, to regulate Solar Energy Systems (“SES”) for the production of electricity and/or conversion of energy for uses on site as well as those systems which produce electricity for off-site use and distribution. The regulations of this section have been established to ensure SES are sited, constructed, maintained, operated and decommissioned in a manner that maximizes utilization of Jefferson County’s solar energy resources, while also protecting the health, safety and welfare of the community. The provisions listed under this section are not intended to be a duplication of any federal or state requirement or to exceed that authority granted to Wisconsin counties.
- b. All applications regulated by this section may be subject to additional conditions and restrictions consistent with Wis. Stat. §66.0401, where such conditions are considered and applied on a case-by-case basis, as well as satisfy one of the following:
 - i. Serves to preserve or protect the public health or safety.
 - ii. Does not significantly increase the cost of the system or significantly decrease its efficiency.
 - iii. Allows for an alternative system of comparable cost and efficiency.
- c. No Solar Energy System shall be erected, enlarged or extended without conformance to the provisions of this section and other applicable restrictions, as evidenced by the issuance of a Zoning Permit by the Zoning Administrator and where required, Conditional Use Permit approval by the Planning & Zoning Committee.

2. Definitions

- a. “Accessory Solar Energy System” means, but is not limited to, a photovoltaic energy system that converts solar energy to usable thermal, mechanical, chemical, or electrical energy, where such solar energy system is accessory to the principal use of the land and serve the land or structures on the same parcel (e.g., solar panels providing energy for a dwelling on the same lot). Accessory Solar Energy Systems are not intended for use as a public utility or to provide energy into the grid and generate less than 1,000 kilowatts (1 megawatt).
- b. "Battery Energy Storage System" (BESS) means electrochemical devices that charge or collect energy from the grid or a generation facility, store that energy, and then discharge that energy at a later time to provide electricity or other grid services.
- a. “Conditional Use Permit” means a discretionary permit for a listed conditional use, granted by the Jefferson County Planning & Zoning Committee, pursuant to the notice and hearing procedures set forth in the sec. 11.05 of the Jefferson County Zoning Ordinance, upon application by the owner and to which various conditions may be attached and must be adhered to by the applicant.

- b. "Energy Storage" means any technology that is capable of absorbing electricity, storing the electricity for a period of time, and redelivering the electricity.
 - c. "Kilowatt" means a unit of power equal to one thousand watts.
 - d. "Large Solar Energy Systems" means, but is not limited to, connected arrays of photovoltaic panels, their supporting structures and/or mounting systems, the network of necessary electrical wires and conduit (above and below ground), power poles, inverters, transformers, and supporting substations, or a concentrated mirror thermal energy generating facility and its respective components. These facilities are designed for nominal operation at a nameplate capacity of 100 megawatts or more. A Certificate of Public Convenience and Necessity issued by the Wisconsin Public Service Commission (PSC) is typically associated with these facilities. This includes facilities which directly convert and transfer solar energy into thermal or electrical energy.
 - e. "Megawatt" means a unit of power equal to one million watts, especially as a measure of the output of a power station.
 - f. "Owner" means the owner of the property, applicant or developer
 - g. "Small Solar Energy System" means but is not limited to, connected arrays of photovoltaic panels, their supporting structures and/or mounting systems, the network of necessary electrical wires and conduit (above and below ground), power poles, inverters, transformers, and supporting substations. These facilities are designed for nominal operation at a nameplate capacity of less than 100 megawatts and do not meet the definition of an "accessory solar energy generating system." This includes facilities which directly convert and transfer solar energy into thermal or electrical energy.
 - h. "Solar Energy System" means a set of devices or equipment which directly converts and then transfers solar energy into usable forms of thermal or electrical energy, including any Accessory Solar Energy System, Small Solar Energy System and Large Energy Solar Systems.
 - i. "Zoning Permit" means written approval by the Zoning Administrator that is required before commencing any development including any structural addition or alteration or change in use as defined by the Jefferson County Zoning Ordinance s. 11.03.
3. General Requirements. The following are requirements of all solar energy systems (SES):
- a. All SES shall be designed to limit grading, soil compaction and native vegetation removal.
 - b. No SES or related structure shall be located in the regulated floodplain.
 - c. No SES or related structure shall be located in a designated wetland.
 - d. Setbacks: Setbacks are measured from the closest point of an array, transformer, converter, battery, etc., excluding perimeter fences except where specifically noted.
 - i. All SES and related structures and equipment shall meet the underlying zoning district setbacks, and highway setbacks.
 - ii. All SES and related structures and equipment, including perimeter fences, shall meet the applicable shoreland setbacks except as it relates to any DNR approved waterway crossings.

- iii. Small and Large SES shall also meet the following setbacks:
 1. 500 feet from non-participating residential homes
 2. 700 feet from non-participating residential homes with an SES on three sides, _____ with additional screening approved by the Planning and Zoning Committee
 3. ~~250 feet to participating landowner's residential home, the setback requirement may be reduced pursuant to mutual agreement between Solar Farm Owner and participating property owners~~
- e. Height: The maximum height for solar collectors or arrays is 18 feet, measured to the highest point.
- f. Code Compliance: A SES shall comply with all applicable building codes and HVAC-related requirements of the Energy Code.
- g. Agricultural Protection: Small and Large SES located in the A-1 or A-2 zoning district must provide a site and soil assessment that identifies the soil type and classification (prime or non-prime for agricultural purposes) for the project area. The SES shall be designed to protect and preserve prime agricultural soils and utilize a maximum of 25% prime soil of the entire project area,. On a case-by-case basis the an excess of 25% of prime agricultural soil may be used as part of a Small or Large SES if mitigation measures are implemented to preserve the prime soil, which may include the following:
 - i. Co-location of agricultural uses (agrivoltaics or other agricultural uses) on the project site.
 - ii. Placing agricultural conservation easements on an equivalent number of prime soil acres adjacent to or surrounding the project site.
 - iii. Other mitigation measures approved by the Planning and Zoning Committee.
- h. All access locations must obtain a fire number, unless waived by the Director
- i. Good Repair: An owner shall construct, operate, repair, maintain and replace SES facilities as needed to keep the SES in good repair and operating condition in a manner that protects the public health, safety, and welfare of the community.
- j. Reflectors and Glare: Any owner or installer of an ASES shall reduce the amount of glare directed towards surrounding properties and residential homes. The use of reflectors or solar enhancer shall be limited. In cases where reflectors or solar enhancers are required to enhance solar production, the owner shall minimize reflected light from affecting adjacent or nearby properties. Measures to minimize reflected light include selective placement of the system, screening the solar collector, modifying the orientation of the system, reducing use of the reflector system, or other remedies that limit reflected light
- k. Decommissioning: A Decommissioning Plan shall be required to ensure that Small and Large SES are properly removed after their useful life. A decommissioning plan shall include how the project area will be decommissioned and returned to its pre-solar development state. The plan shall include how decommissioning will occur, timeline and method for financial compensation or assurance and how materials will be recycled or disposed of. The plan shall include provisions for removal of all

Commented [MZ1]: Columbia County - 50' from nonparticipating property line and 500 from residential structure
 Great Plains Institute Model Ordinance - 150 from dwelling. Setbacks can be reduced by 50% with full screening
 Kenosha County - no setback

structures and foundations, restoration of soil and vegetation and assurances that financial resources will be available to fully decommission the site.

l. Reporting Requirements:

- i. Small and Large SES shall provide a yearly report by March 1st of each year to the Planning and Zoning Committee. The report, at minimum, shall include the following for the previous year:
 1. Report on power generation
 2. Estimated timeline for the SES including, but not limited to, construction commencement dates, operational date and life expectancy dates and any upcoming key dates
 3. Planned, proposed or completed construction projects or updates to the SES
 4. Report and update to the Decommissioning Plan including justification for updating the plan and financial assurance. Yearly, the Decommission Plan shall be reviewed and updated based on current conditions including any financial assurances.
 5. Any other information requested by the Planning and Zoning Committee or Department

4. Small Solar Energy Systems (Small SES)

- a. Permitting Requirements: Small SES require a Conditional Use Permit and a Zoning Permit prior to the start of construction.
- b. Zoning Districts: Small SES may be located within the A-1 Exclusive Agricultural and A-2 Agricultural and Rural Business zoning district as a conditional use, subject to the requirements of this ordinance. In addition, a small SES may be permitted as a conditional use, subject to the requirements of this ordinance, within the A-T zoning district with written approval from the closest municipality.
- c. Conditional Use Permit
 - i. Application Process. The application for a Conditional Use Permit shall be processed in accordance with the procedures set forth in Section 11.05 of this ordinance.
 - ii. Application Requirements. The application for a Conditional Use Permit for a small SES shall include the following items as applicable to the project:
 1. Site Plan: A site plan shall be submitted including, but not limited to, the following:
 - a. Existing and proposed improvements
 - b. Existing and proposed structures
 - c. Existing and proposed topography
 - d. Existing and proposed fencing
 - e. Utilities
 - f. All above ground and underground components
 - g. Wetlands as determined by a wetland delineation
 - h. Waterways (navigable and non-navigable), drainage ditches, underground drain tiles, etc.
 - i. Drainage District ditches

- j. Floodplain
 - k. Public roads, access roads and internal roadways
 - l. Access locations and driveways
 - m. Setbacks shall be shown on the site plan
 - n. Any other information required by the department
2. Proposed Transportation Routes: A plan identifying the proposed construction transportation routes including the type and quantity of equipment being transported.
3. Drainage Plan: A plan identifying the existing drainage features and proposed drainage features including the drainage patterns, drain tiles, ditches and any proposed modifications.
 - a. The plan should include how drainage will be maintained and how damage, problems, or complaints will be resolved.
4. Construction Schedule: A plan documenting the major milestones throughout the construction process including the start and end of construction.
5. Vegetation Management Plan: A plan documenting the following shall be submitted:
 - a. Existing conditions
 - b. Proposed planting map with species and densities
 - c. Proposed management of vegetation
6. Grading Plan: A plan identifying the existing grading, topography and percent slope and the proposed grading. No grading shall occur on slopes greater than 20% and all slopes greater than 20% shall be protect from development and erosion. A plan identifying the slopes greater than 20% and their protection measures shall be included.
7. Decommissioning Plan:
8. Lighting Plan: A plan documenting the proposed lighting at the project site.
9. Erosion Control Plan including all erosion control measures, timing of placement, maintenance and removal
10. Storm Water Management Plan
11. Screening plan that identifies the type and extent of screening from roadways and residences. Section 11.07(c) of this ordinance shall set the minimum requirements and the Committee may require additional screening or conditions on a case-by-case basis.
12. Airport Notification: SES located within 5 miles of an airport shall provide notice of the proposed SES to the airport operator and owner. The applicant shall provide an affidavit stating which airports were provided notice and documentation of such notice. If no airports are within 5 miles, the owner shall provide documentation that no airports are within 5 miles.

13. Fencing Plan: A plan shall be submitted identifying the type of fencing utilized for the project and the proposed setbacks. Perimeter fencing for the site shall use wildlife-friendly fencing standards that include clearance at the bottom.
 14. Agreements, leases or other documentation with affected landowners and/or communities outlining any site-specific terms or conditions of development and assuring maintenance of land to be owned or used for common purposes, including, but not limited to joint development agreements, road maintenance agreements and agreements with the Drainage Board.
 15. Any other documentation as identified by the Director or the Planning and Zoning Committee.
- iii. Conditional Use Permit Review Criteria: In addition to the criteria set forth in Section 11.05 of the Jefferson County Zoning Ordinance, the review for a Conditional Use Permit shall address and consider the following:
1. To the extent feasible and practical, plans to use the land for both agriculture and electricity generation, possibly including but not limited to:
 - a. Planting and maintaining pollinator-friendly native plant species and reduced herbicide applications.
 - b. Grazing of livestock
 - c. Planting of crops
 - d. Other agricultural uses
 2. The preservation of prime agricultural soils and the use of non-prime agricultural soils
 3. Reasonable construction standards, including phasing to limit the area of disturbance; hours of construction to limit disruption to residents; and light pollution mitigation.
 4. Maintenance and repair of damage to local roads due to project construction, possibly in the form of a Road Maintenance Agreement
 5. Maintenance and repair to local drainage systems
 6. Financial assurance during the construction phase in the form of a surety bond, letter of credit, escrow account, reserve fund, parent guarantee or other suitable financial mechanism.
 7. Decommissioning plan which includes provisions for removal of all structures and foundations, restoration of soil and vegetation and financial assurance that funds will be available for project decommissioning costs.
- d. Zoning Permit Requirements
- i. Permit Requirement. The owner must apply for and receive a Zoning Permit from the Department before installing, constructing, or expanding any Small SES.

- ii. Application Process. The application for a Zoning Permit shall be processed in accordance with the procedures set forth in Section 11.03 of this ordinance.
 - iii. Permit Fee. The owner shall pay an application fee at the time the application is filed with the Department.
 - iv. Application Requirement. The application for a zoning permit shall include the following items as applicable to the project:
 - 1. Name and contact information of applicant, owner and installer.
 - 2. A narrative of the proposed project, including a description of the subject property, address(es), parcel numbers, and any unique circumstances within the project area.
 - 3. Final design and site plans, which shall include a scalable drawing showing the location of all drives, entrances, easement labels and locations, trails, and signs; panels, inverters, energy storage systems, and any other planned infrastructure; vision clearance triangles; floodplain(s); wetland(s); and shoreland zone boundaries, and setbacks.
 - 4. Documentation of all other permits and approvals.
 - 5. Other documentation as determined by the Department.
 - 6. A Point of Contact throughout the construction process.
 - e. Additional Permitting Requirements. Additional permits and processes may be required under the Jefferson County Zoning Ordinance.
 - f. Operator Ownership Change. Notice shall be provided to the County for any change in ownership of the Small Solar Energy System on or before the effective date of the change.
 - g. Other Approvals. A copy of all necessary state and federal permits and approvals shall be submitted to the Department within 30 days of receiving said authorizations.
 - h. Postconstruction Filing Requirement. Within 90 days of the date a Small SES commencing operation, the owner shall file with the Department an as-built description of the facility, an accurate map of the facility showing the location of all infrastructure, geographic information system (GIS) information showing the location of said infrastructure, and current information identifying the owner(s) and operator(s), including designated contact(s), of the Small SES.
 - i. Construction Meetings: As a condition of approval, the developer shall hold a preconstruction meeting, post construction meeting and monthly update meetings with the local Town and County Officials.
5. Large Solar Energy Systems (Large SES)
- a. Zoning Permit Requirements
 - i. Permit Requirement. The owner must apply for and receive a Zoning Permit from the Department before installing, constructing, or expanding any Large SES.

- ii. Application Process. The application for a Zoning Permit shall be processed in accordance with the procedures set forth in Section 11.03 of this ordinance.
- iii. Permit Fee. The owner shall pay an application fee at the time the application is filed with the Department.
- iv. Standards for Review. The standards for reviewing a permit application for a Large SES are consistent with Wis. Stat. 66.0401 and 66.0403 as well as Wis. Stat. 59.69 and are not more restrictive than the PSC-approved site plan as part of the Certificate of Public Convenience and Necessity.
- v. Application Requirement. The application for a Zoning Permit shall include the following items, as may be applicable:
 - 1. Name and contact information of owner, applicant, and installer.
 - 2. A copy of the PSC authorization and a copy of the final application packet and documentation submitted to the PSC for approval;
 - 3. A narrative of the proposed project, including a description of the subject property, address(es), parcel numbers, and any unique circumstances within the project area, as may have been identified during the PSC review;
 - 4. Site Plan: A site plan shall be submitted including, but not limited to, the following:
 - a. Existing and proposed improvements
 - b. Existing and proposed structures
 - c. Existing and proposed topography
 - d. Existing and proposed fencing
 - e. Existing and proposed utilities
 - f. All above ground and underground components
 - g. Wetlands, waterways, ditches, underground drainage systems, etc.
 - h. Floodplain
 - i. Public roads, access roads and internal roadways
 - j. Access locations and driveways
 - k. Setbacks shall be identified in the site plan
 - l. A point of contact throughout the construction process.
- vi. Additional Permitting Requirements. Additional permits and processes may be required under the Jefferson County Zoning Ordinance.
- vii. Operator Ownership Change. Notice shall be provided to the County for any change in ownership of the Large SES 10 days prior to the effective date of the change and contact information of the new owner shall be included with the notice.
- viii. Other Approvals. A copy of all necessary state and federal permits and approvals shall be submitted to the Department within 30 days of receiving said authorizations.

- ix. Postconstruction Filing Requirement. Within 90 days of the date a Large SES commences operation, the owner shall file with the Department an as-built description of the facility, an accurate map of the facility showing the location of all infrastructure, geographic information system information (GIS) showing the location of said infrastructure, and current information identifying the owner(s) and operator(s), including designated contact(s), of the Large SES
 - x. Construction Meetings: As a condition of approval, the developer shall hold a preconstruction meeting, post construction meeting and monthly update meetings with the local Town and County Officials.
6. Accessory Solar Energy System (ASES)
- a. Permit Requirement. The owner must apply for and receive a Zoning Permit from the Department before installing, constructing, or expanding any ASES.
 - b. Ground-mounted systems shall not count toward accessory structure limitations in the underlying zoning district.
 - c. Height: An ASES must meet the following height requirements:
 - i. Roof mounted ASES shall not exceed the maximum allowed height in the underlying zoning district and shall not extend more than five feet above the surface of the roof.
 - ii. Ground or pole mounted ASES shall not exceed 18 feet in height when oriented at its maximum tilt.
 - d. Setback(s):
 - i. Roof mounted ASES: In addition to the structure setback from the underlying zoning district, the ASES, including the collector surface and mounting devices, shall not extend more than three feet beyond the exterior perimeter of the building on which the structure is mounted or built.
 - ii. Ground or pole mounted ASES: Ground or pole mounted SES may not extend into the required yard setbacks for the underlying zoning district at any point.
 - e. Lot Coverage:
 - i. Ground-mount systems total collector area shall not exceed the building footprint of the principal structure
 - f. Grades: The ASES shall utilize existing grades and the area of the ASES shall not be artificially elevated higher than the existing grades of the property.
7. Battery Energy Storage Systems (BESS)
- a. Applicability: The requirements of this section apply to all battery storage system with a rated nameplate capacity of equal to or greater than 1 megawatt.
 - b. Permitting Requirements:
 - i. BESS are required to obtain a Zoning Permit prior to the start of construction.

Commented [MZ2]: Or - not exceed lot coverage of 15%?

- ii. BESS are subject to the requirements under section 4. above, as well as the standards listed in 6, where applicable.
 - iii. BESS associated with a Large SES are subject to the requirements of Section 5., above.
- c. General Requirements:
- i. **Setbacks:**
 - 1. 1,500 feet from residential, business, municipal, school, or town structures
 - 2. 1,000 feet from a drinking water system or source
 - 3. 500 feet from waterways or waterbody
 - 4. Other setbacks as required by the underlying zoning district and Planning and Zoning Committee
 - ii. All BESS shall be designed in compliance with all applicable building, fire, and electrical codes.
 - iii. Security & Screening: BESS shall have a perimeter fence of at least 7 feet in height, consistent with the requirements established in National Fire Protection Association (NFPA) 70. BESS shall also comply with specifications established in NFPA 855 relating to barriers and buffering.
 - iv. Safety Requirements: BESS shall comply with the latest published version of the National Fire Protection Association (NFPA) 855, Standard for Installation of Stationary Energy Storage Systems, as of the date of the submission of permit application, except where this section is more restrictive.
 - 1. Prior to the issuance of a Zoning Permit for a BESS, applicants are required to:
 - a. Submit documentation verifying the proposed design meets NFPA 855 requirements.
 - b. Submit an emergency response plan
 - c. Submit a plan for offering site specific training to the applicable fire service and emergency personnel prior to commencing operation
 - d. Conduct a hazard mitigation analysis if specified by NFPA 855
 - v. BESS containers and structures shall be labeled with a date of first usage by a stamped metal nameplate including a serial number. Containers shall be clearly labeled and marked to identify its contents and contact information in case of emergency.
 - vi. Decommissioning: A decommissioning plan that ensures the return of all participating properties to a useful condition, including removal of above-surface facilities and infrastructure that have no ongoing purpose, shall be provided by the applicant. The plan shall include a timeline including when the decommissioning will begin, how long it is anticipated to complete and when

Commented [MZ3]: Michigan Guidance:
 300 feet from any community buildings and occupied dwellings on a non-participating property measured from the nearest point on the outer wall;
 50 feet from the nearest edge of a public road right-of-way;
 50 feet from the property line of a non-participating property.

it will be completed.

- vii. The decommissioning plan shall include, but is not limited to, financial assurance in the form of a bond, a parent company guarantee, or an irrevocable letter of credit, to be determined by applicant. The amount of the financial assurance shall not be less than the estimated cost of decommissioning the energy facility, after deducting salvage or recycling value, as calculated by a third party with expertise in decommissioning, hired by the applicant.

Sources:

- Columbia, Calumet, Walworth, Marathon and Kenosha County
- WI Solar Model Ordinance – Great Plains Institute
- American Farmland Trust

DRAFT

Accessory Dwelling Units 1/27/25

- **Accessory dwelling unit definition:** a secondary home on the same property as a primary residence
 - **Attached:** an addition to the main house, such as a basement apartment, loft area above attached garage, attic studio, etc.
 - **Detached:** a stand-alone structure, such as a backyard cottage or carriage house
 - **Garage conversion:** a secondary dwelling unit created by converting a detached private garage into a living space
- Cap on number of ADUs permitted on a single lot?
- Minimum lot area requirements?
- Only allowed in specified zone areas?
 - R-1, R-2, and C zones are small areas – only allow for attached ADUs in these areas?
 - Allowing for detached ADUs in A-3 zones vs allowed in A-1 zones?
 - Not allowed in business or commercial zones
- Setbacks?
 - Minimum setback distances between ADU and primary residential structure per building inspector?
- Require conditional use approval for ADU?
- Minimum/maximum size requirements for proposed detached ADUs?
 - City of Oconomowoc requires max gross floor area to be no more than the footprint of the primary structure or 1000 sq ft, whichever is less
 - City of Oconomowoc requires minimum of 400 sq ft
- Maximum height requirements for proposed detached ADUs?
 - City of Oconomowoc allows for max height of 25'
- Minimum living space requirements for attached ADUs?

- Allow for construction of new structures for ADUs or just utilization of existing structures on property?

- Separate septic system required for detached ADU? Or allow connection to existing septic for primary residence?
 - Consider the increase in loads and flows and how that may affect existing system

- Regulation/restrictions:
 - Difference between ADU and short-term rentals such as AirBnb, VRBO, etc.
 - Max # of occupants allowed?
 - Condition that primary residential structure must be owner-occupied majority of the year?
 - Require separate entry from primary residential structure for the attached ADUs?
 - Mobile homes, recreational vehicles, travel trailers, and any other wheeled or transportable structures shall not be used as an ADU
 - Cannot be sold separately from principal dwelling structure
 - City of Oconomowoc does not allow for ADUs on a property with an existing duplex, as well as no duplex allowed on a property with an existing ADU